ATTACHMENT B

DESIGN PLANS

CONSTRUCTION DRAWINGS FOR

ROSEVILLE SOCCER COMPLEX

2600 WESTBROOK BLVD
ROSEVILLE, CA 95747
VERDE DESIGN, INC. PROJECT NO. 2103800

PROJECT INFORMATION:

TOTAL LANDSCAPE AREA = X SQ. FT.
PROJECT TYPE: NEW PUBLIC PARK

WATER DISTRICT NAME:
CITY OF ROSEVILLE
WATER UTILITY
(916) 774-5750

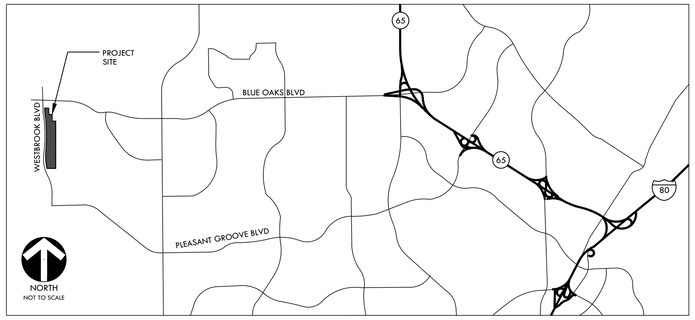
POWER UTILITY PROVIDER:
CITY OF ROSEVILLE
ELECTRIC UTILITY
(916) 797-6937

CWJ #
EN #
BD#

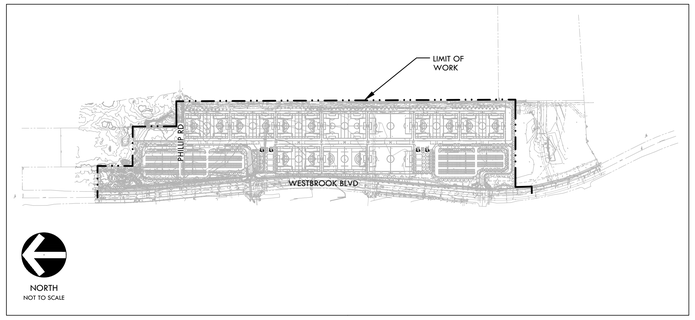
WDID #

ROSEVILLE SOCCER COMPLEX

PROJECT MAP



VICINITY MAP



SITE MAP

PREPARED BY

REGISTERED LANDSCAPE ARCHITECT — MARK E. BAGINSKI — No. 4089 — Signature — EXPIRATION DATE: JULY 2023 — STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER — TIM D. HYDE — No. S3260 — EXP. 3/31/23 — STRUCTURAL — STATE OF CALIFORNIA

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

akh
STRUCTURAL ENGINEERS, INC.
1505 MERIDIAN AVE, SUITE B
SAN JOSE, CALIFORNIA 95125
PHONE 408.978.1970
www.AKHSE.com

PUBLIC RESTROOM COMPANY
Building Better Places To Go.SM
Ph: 888-888-2060 | Fax: 888-888-1448

Stanton ENGINEERING
PROJECT 20051
11344 Coloma Rd. Suite 445
Gold River, CA 95670
TEL 916.288.6250
www.stantoneng.com

CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER CITY OF ROSEVILLE	TARA GEE TGEE@ROSEVILLE.CA.US	(916) 774-5253
LANDSCAPE ARCHITECT VERDE DESIGN INC.	MARK BAGINSKI MARK@VERDEDESIGNINC.COM CHRIS SULLIVAN CHRISS@VERDEDESIGNINC.COM	(408) 850-3411 (916) 996-5525
ARCHITECT PUBLIC RESTROOM COMPANY	CHARLES E. KAUFMAN	(888) 888-2060
ELECTRICAL ENGINEER STANTON ENGINEERING	ED DAVID EDD@STANTONENG.COM	(916) 288-6238
STRUCTURAL ENGINEER AKH STRUCTURAL ENGINEERS	TIM HYDE HYDE@AKHSE.COM	(408) 978-1970

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING: SITE DEMOLITION, CLEAR AND GRUB OF UNDEVELOPED LOT. PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF SIX (6) SOCCER FIELDS WITH PERIMETER FENCING, SIX (6) CANTILEVER SHADE STRUCTURES; PLAZA WITH RESTROOM AND CONCESSIONS BUILDINGS AND THREE (3) SOLAR PICNIC SHADE STRUCTURES, PLAY AREA WITH RESTROOM AND SHADE STRUCTURES; NEW PARKING LOT WITH SOLAR SHADE STRUCTURES, NEW HARDSCAPE, LANDSCAPE, SITE UTILITIES, AND PATH OF TRAVEL AND ACCESSIBLE PARKING FOR ACCESSIBILITY REQUIREMENTS. SPORTS LIGHTING FOR SIX (6) SOCCER FIELDS. SPORTS LIGHTING INFRASTRUCTURE, UNDERGROUND UTILITY AND ELECTRICAL INFRASTRUCTURE FOR FUTURE PHASES ALSO TO BE INSTALLED.

BID ALTERNATES

BID ADDITIVE ALTERNATE #1:
CONSTRUCTION OF TWO (2) SOCCER FIELDS, FOUR (4) CANTILEVAR SOLAR SHADE STRUCTURES, SOUTH PARKING LOT WITH SOLAR SHADE STRUCTURES, PLAZA WITH RESTROOM AND CONCESSIONS BUILDINGS, SOLAR PICNIC SHADE STRUCTURES AND RELATED IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, HARDSCAPE, FURNISHINGS, UTILITIES AND ELECTRICAL.

APPLICABLE CODES AND STANDARDS

1. 2019 CBC CHAPTER 35: PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

   2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
   2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
   (2018 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
   (2017 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
   (2018 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA PLUMBING CODE (CDC), PART 5, TITLE 24 C.C.R.
   (2018 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
   2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
   (2018 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
   (2018 INTERNATIONAL EXISTING BUILDING CODE AND 2016 CALIFORNIA AMENDMENTS)
   2019 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
   2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
   2019 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
   2016 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS

   LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
   AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
   FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) — 28 CFR 35.151(c)
   OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
   FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) — 28 CFR 36.406
   2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

   NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS (CALIFORNIA AMENDED)	2019 EDITION
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION
NFPA 22	WATER TANKS FOR PRIVATE FIRE PROTECTION	2018 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES)	2019 EDITION
NFPA 80	FIRE DOORS AND OTHER OPENING PROTECTIVES	2019 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION
UL 300	FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT	2005 (R2010)
UL 464	AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ADDESSORIES	2003 EDITION
UL 521	HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS	1999 EDITION
UL 1971	SIGNALING DEVICES FOR THE HEARING IMPAIRED	2002 EDITION
ICC 300	BLEACHERS, FOLDING AND TELESCOPING SEATING, AND GRANDSTANDS	2017 EDITION
ASME 17.1	ELEVATOR STANDARD	2016 EDITION

   REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2019 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

   ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

3. ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

4. LATEST EDITION OF THE CITY OF ROSEVILLE DESIGN AND CONSTRUCTION STANDARDS.

5. LATEST EDITION OF THE CITY OF ROSEVILLE PARKS CONSTRUCTION STANDARDS.

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
C0.0	COVER SHEET
C0.1	PUBLIC IMPROEMENT REQUIREMENT NOTES
L0.1	ACCESSIBILITY PLAN
L0.2	ACCESSIBILITY PLAN
L1.1	EXISTING CONDITIONS PLAN
L1.2	EXISTING CONDITIONS PLAN
L1.3	EXISTING CONDITIONS PLAN
L1.4	EXISTING CONDITIONS PLAN
L1.5	EXISTING CONDITIONS PLAN
L1.6	EXISTING CONDITIONS PLAN
L1.7	EXISTING CONDITIONS PLAN
L1.8	EXISTING CONDITIONS PLAN
L1.9	EXISTING CONDITIONS PLAN
L1.10	EXISTING CONDITIONS PLAN
L1.11	EXISTING CONDITIONS PLAN
L1.12	EXISTING CONDITIONS PLAN
L1.13	EXISTING CONDITIONS PLAN
L1.14	EXISTING CONDITIONS PLAN
L2.1	EROSION AND SEDIMENT CONTROL PLAN
L2.2	EROSION AND SEDIMENT CONTROL PLAN
L2.3	EROSION AND SEDIMENT CONTROL PLAN
L2.4	EROSION AND SEDIMENT CONTROL PLAN
L2.5	EROSION AND SEDIMENT CONTROL PLAN
L2.6	EROSION AND SEDIMENT CONTROL PLAN
L2.7	EROSION AND SEDIMENT CONTROL PLAN
L2.8	EROSION AND SEDIMENT CONTROL PLAN
L2.9	EROSION AND SEDIMENT CONTROL PLAN
L2.10	EROSION AND SEDIMENT CONTROL PLAN
L2.11	EROSION AND SEDIMENT CONTROL PLAN
L2.12	EROSION AND SEDIMENT CONTROL PLAN
L2.13	EROSION AND SEDIMENT CONTROL PLAN
L2.14	EROSION AND SEDIMENT CONTROL PLAN
L3.1	DEMOLITION PLAN
L3.2	DEMOLITION PLAN
L3.3	DEMOLITION PLAN
L3.4	DEMOLITION PLAN
L3.5	DEMOLITION PLAN
L3.6	DEMOLITION PLAN
L3.7	DEMOLITION PLAN
L3.8	DEMOLITION PLAN
L3.9	DEMOLITION PLAN
L3.10	DEMOLITION PLAN
L3.11	DEMOLITION PLAN
L3.12	DEMOLITION PLAN
L3.13	DEMOLITION PLAN
L3.14	DEMOLITION PLAN
L4.1	GRADING PLAN
L4.2	GRADING PLAN
L4.3	GRADING PLAN
L4.4	GRADING PLAN
L4.5	GRADING PLAN
L4.6	GRADING PLAN
L4.7	GRADING PLAN
L4.8	GRADING PLAN
L4.9	GRADING PLAN
L4.10	GRADING PLAN
L4.11	GRADING PLAN
L4.12	GRADING PLAN
L4.13	GRADING PLAN
L4.14	GRADING PLAN
L5.1	DRAINAGE AND UTILITY PLAN
L5.2	DRAINAGE AND UTILITY PLAN
L5.3	DRAINAGE AND UTILITY PLAN
L5.4	DRAINAGE AND UTILITY PLAN
L5.5	DRAINAGE AND UTILITY PLAN
L5.6	DRAINAGE AND UTILITY PLAN
L5.7	DRAINAGE AND UTILITY PLAN
L5.8	DRAINAGE AND UTILITY PLAN
L5.9	DRAINAGE AND UTILITY PLAN
L5.10	DRAINAGE AND UTILITY PLAN
L5.11	DRAINAGE AND UTILITY PLAN
L5.12	DRAINAGE AND UTILITY PLAN
L5.13	DRAINAGE AND UTILITY PLAN
L5.14	DRAINAGE AND UTILITY PLAN
L6.1	LAYOUT PLAN
L6.2	LAYOUT PLAN
L6.3	LAYOUT PLAN
L6.4	LAYOUT PLAN
L6.5	LAYOUT PLAN
L6.6	LAYOUT PLAN
L6.7	LAYOUT PLAN
L6.8	LAYOUT PLAN
L6.9	LAYOUT PLAN
L6.10	LAYOUT PLAN
L6.11	LAYOUT PLAN
L6.12	LAYOUT PLAN
L6.13	LAYOUT PLAN
L6.14	LAYOUT PLAN
L7.1	MATERIAL AND DETAIL REFERENCE PLAN
L7.2	MATERIAL AND DETAIL REFERENCE PLAN
L7.3	MATERIAL AND DETAIL REFERENCE PLAN
L7.4	MATERIAL AND DETAIL REFERENCE PLAN
L7.5	MATERIAL AND DETAIL REFERENCE PLAN
L7.6	MATERIAL AND DETAIL REFERENCE PLAN
L7.7	MATERIAL AND DETAIL REFERENCE PLAN
L7.8	MATERIAL AND DETAIL REFERENCE PLAN
L7.9	MATERIAL AND DETAIL REFERENCE PLAN
L7.10	MATERIAL AND DETAIL REFERENCE PLAN
L7.11	MATERIAL AND DETAIL REFERENCE PLAN
L7.12	MATERIAL AND DETAIL REFERENCE PLAN
L7.13	MATERIAL AND DETAIL REFERENCE PLAN
L7.14	MATERIAL AND DETAIL REFERENCE PLAN
L8.1	IRRIGATION PLAN
L8.2	IRRIGATION PLAN
L8.3	IRRIGATION PLAN
L8.4	IRRIGATION PLAN
L8.5	IRRIGATION PLAN
L8.6	IRRIGATION PLAN
L8.7	IRRIGATION PLAN
L8.8	IRRIGATION PLAN
L8.9	IRRIGATION PLAN
L8.10	IRRIGATION PLAN
L8.11	IRRIGATION PLAN
L8.12	IRRIGATION PLAN
L8.13	IRRIGATION PLAN
L8.14	IRRIGATION PLAN
L8.15	IRRIGATION PLAN
L8.16	IRRIGATION PLAN
L9.1	PLANTING PLAN
L9.2	PLANTING PLAN
L9.3	PLANTING PLAN
L9.4	PLANTING PLAN
L9.5	PLANTING PLAN
L9.6	PLANTING PLAN
L9.7	PLANTING PLAN
L9.8	PLANTING PLAN
L9.9	PLANTING PLAN
L9.10	PLANTING PLAN
L9.11	PLANTING PLAN
L9.12	PLANTING PLAN
L9.13	PLANTING PLAN
L9.14	PLANTING PLAN
LD1.1	DRAINAGE AND UTILITY DETAILS
LD1.2	DRAINAGE AND UTILITY DETAILS
LD2.1	CONSTRUCTION DETAILS HARDSCAPE
LD2.2	CONSTRUCTION DETAILS SITE FURNISHINGS
LD3.1	ACCESSIBLE PARKING DETAILS
LD4.1	FENCING DETAILS
LD4.2	FENCING DETAILS
LD5.1	ATHLETIC DTAILS
LD5.2	PLAY EQUIPMENT
LD6.1	IRRIGATION AND PLANTING DETAILS
LD6.2	IRRIGATION AND PLANTING DETAILS
E0.1	ELECTRICAL COVER SHEET
E0.2	ONE-LINE DIAGRAM & LOAD CALCULATIONS
E0.3	ELECTRICAL BUILDING PLAN AND DETAILS
E1.0	OVERALL SITE PLAN - ELECTRICAL

LANDSCAPE ARCHITECT

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE ARCHITECT

DATE

CITY OF ROSEVILLE

CITY ENGINEER

DATE

CITY OF ROSEVILLE APPROVAL

30% SUBMITTAL - 04/29/2022

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN INC AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON ON ANY OTHER PROJECT EVEN IF SUCH PROJECT IS SUBSTANTIALLY SIMILAR.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD__CVR-SRV.dwg
PLOT DATE: 04-29-22 PLOTTED BY: station49

PUBLIC IMPROVEMENT REQUIREMENTS

GRADING:

1. GRADING SHALL CONFORM TO APPENDIX CHAPTER 33 UBC, LATEST EDITION, AND TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT TITLED GEOTECHNICAL ENGINEERING REPORT GIBSON PARK. REFER TO ENGINEERING DIVISION FILE #308._____ FOR SOILS REPORT.

2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT OR AS DETERMINED BY THE CITY INSPECTOR. THE SWPPP IS CONSIDERED A DYNAMIC DOCUMENT AND WILL CHANGE AS CONDITIONS WARRANT. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AS SHOWN ON THE PRE-DEVELOPED SWPPP PLAN. REFER TO STORM WATER POLLUTION PREVENTION PLAN _____.

3. LOTS SHALL BE GRADED WITH A CONSTANT SLOPE ALONG THE FRONTAGE OF THE RIGHT-OF-WAY, FROM BUILDING SETBACK LINE TO BACK OF SIDEWALK. ALL TEMPORARY AND PERMANENT SLOPES STEEPER THAN 4:1 ALONG THIS FRONTAGE SHALL HAVE EROSION NETTING INSTALLED.

4. ALL REAR LOT CORNER ELEVATIONS SHALL BE EQUAL TO OR GREATER THAN THE HIGHEST ADJACENT PAD GRADE UNLESS SPECIFICALLY SHOWN ON THESE PLANS AND APPROVED BY ENGINEERING DIVISION.

5. NON-POTABLE WATER SHALL BE SPRAYED ON ALL EXPOSED EARTH SURFACES DURING CLEARING GRADING, EARTH MOVING, AND OTHER SITE PREPARATION ACTIVITIES. THE EXPOSED EARTH SHALL BE WATERED THROUGHOUT THE DAY TO MINIMIZE DUST.

6. TARPAULINS OR OTHER EFFECTIVE COVERS SHALL BE USED ON ALL STOCKPILED EARTH MATERIAL AND ON HAUL TRUCKS TO MINIMIZE DUST.

7. THE CITY SHALL HAVE THE AUTHORITY TO STOP ALL GRADING OPERATIONS, IF, IN OPINION OF CITY STAFF, INADEQUATE DUST CONTROL MEASURES ARE BEING PRACTICED OR EXCESSIVE WIND CONDITIONS CONTRIBUTE TO FUGITIVE DUST EMISSIONS.

8. ADJACENT STREET FRONTAGES SHALL BE SWEPT AT LEAST ONCE A DAY TO REMOVE SILT AND OTHER DIRT WHICH IS EVIDENT FROM CONSTRUCTION ACTIVITIES. REFER TO SCHEDULES WITHIN SWPPP.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. REFER TO SWPPP FOR SPECIFIC REQUIREMENTS.

10. CONSTRUCTION SHALL STOP IF CULTURAL RESOURCES ARE SUSPECTED. IT IS POSSIBLE THAT PREVIOUS ACTIVITIES HAVE OBSCURED SURFACE EVIDENCE OF CULTURAL RESOURCES. IF SIGNS OF AN ARCHEOLOGICAL SITE, SUCH AS ANY UNUSUAL AMOUNTS OF STONE, BONE, OR SHELL, ARE UNCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN 100 FEET OF THE FIND AND THE ROSEVILLE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. THE ARCHEOLOGIST MAY REQUIRE ADDITIONAL MITIGATION.

11. SHOULD GRADING OPERATIONS UNCOVER HAZARDOUS MATERIALS, OR WHAT APPEARS TO BE HAZARDOUS MATERIALS, THE FIRE DEPARTMENT SHALL BE CONTACTED IMMEDIATELY AT (916) 774-5820. THE AREA, WHICH CONTAINS THE HAZARDOUS MATERIALS, SHALL BE MARKED OFF UNTIL AN INVESTIGATION BY A MEMBER OF THE FIRE DEPARTMENT IS CONDUCTED.

12. GRADES SHOWN OUTSIDE OF THE PUBLIC RIGHT OF WAY WITHIN THE APPROVED GRADING PLAN ARE SUBJECT TO FURTHER REVIEW AND MODIFICATION BY THE BUILDING DIVISION FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE AND STATE OF CALIFORNIA TITLE 24 HANDICAP ACCESSIBILITY REQUIREMENTS.

13. THE CONTRACTOR/DEVELOPER IS EXPECTED TO COMPLY WITH THE FUGITIVE DUST CONTROL REQUIREMENTS FROM THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT: WWW.PLACER.CA.GOV/APCD

14. CONTAMINATED SOIL - DEVELOPER AGREES TO PROPERLY ADHERE TO ALL THEN CURRENT STATE AND FEDERAL REQUIREMENTS WHEN ANY EVIDENCE OF TOXIC, HAZARDOUS OR CONTAMINATED SOILS ARE ENCOUNTERED DURING ANY AND ALL EXCAVATION OR GRADING OPERATIONS, AND TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OR ROSEVILLE, ITS OFFICERS, AGENTS AND EMPLOYEES, FROM ANY AND ALL LIABILITY, COSTS, CLAIMS, FEES, FINES, PENALTIES AND CLAIMS OF OR DAMAGE OF ANY TYPE WHATSOEVER. EXTRA COSTS FOR REMEDIATION AND/OR REMOVAL OF SOIL SHALL BE BOURN SOLELY BY THE DEVELOPER. THE PARTIES INTEND THAT THIS PROVISION BE BROADLY CONSTRUED.

AIR QUALITY:

THE FOLLOWING NOTES ARE PROVIDED AS REFERENCE TO APPLICABLE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT ADOPTED RULES AND REGULATIONS. COMPLIANCE WITH ALL APPLICABLE APCD RULES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. AIR QUALITY RULES ARE ENFORCED SOLELY BY THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT.

1. CONSTRUCTION EQUIPMENT EXHAUST EMISSIONS SHALL NOT EXCEED PLACER COUNTY APCD RULE 202 VISIBLE EMISSION LIMITATIONS. OPERATORS OF VEHICLES AND EQUIPMENT FOUND TO EXCEED OPACITY LIMITS ARE TO BE IMMEDIATELY NOTIFIED BY APCD TO CEASE OPERATIONS AND THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS. (BASED ON APCD RULE 202)

2. THE CONTRACTOR SHALL SUSPEND ALL GRADING OPERATIONS WHEN FUGITIVE DUST EXCEEDS PLACER COUNTY APCD RULE 228 (FUGITIVE DUST) LIMITATIONS. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING AN INDIVIDUAL WHO IS CARB-CERTIFIED TO PERFORM VISIBLE EMISSIONS EVALUATIONS (VEE). THIS INDIVIDUAL SHALL EVALUATE COMPLIANCE WITH RULE 228 ON A WEEKLY BASIS. IT IS TO BE NOTED THAT FUGITIVE DUST IS NOT TO EXCEED 40% OPACITY AND NOT GO BEYOND THE PROPERTY BOUNDARY AT ANY TIME. LIME OR OTHER DRYING AGENTS UTILIZED TO DRY OUT WET GRADING AREAS SHALL NOT EXCEED PLACER COUNTY APCD RULE 228 FUGITIVE DUST LIMITATIONS. OPERATORS OF VEHICLES AND EQUIPMENT FOUND TO EXCEED OPACITY LIMITS WILL BE NOTIFIED BY APCD AND THE EQUIPMENT MUST BE REPAIRED WITHIN 72 HOURS. ALL PROJECTS IN EXCESS OF 5 ACRES SHALL HAVE AN APPROVED DUST CONTROL PLAN FROM THE PLACER COUNTY AIR POLLUTION CONTROL DISTRICT. (BASED ON APCD RULE 228)

3. DURING CONSTRUCTION, TRAFFIC SPEEDS ON ALL UNPAVED SURFACES SHALL BE LIMITED TO 15 MILES PER HOUR OR LESS. (BASED ON APCD RULE 228 / SECTION 401.2)

4. DURING CONSTRUCTION, NO OPEN BURNING OF REMOVED VEGETATION SHALL BE ALLOWED UNLESS PERMITTED BY THE PCAPCD. ALL REMOVED VEGETATIVE MATERIAL SHALL BE EITHER CHIPPED ON SITE OR TAKEN TO AN APPROPRIATE RECYCLING SITE, OR IF A SITE IS NOT AVAILABLE, A LICENSED DISPOSAL SITE. (BASED ON APCD RULE 310)

5. A PERSON SHALL NOT DISCHARGE INTO THE ATMOSPHERE VOLATILE ORGANIC COMPOUNDS (VOC'S) CAUSED BY THE USE OR MANUFACTURE OF CUTBACK OR EMULSIFIED ASPHALTS FOR PAVING, ROAD CONSTRUCTION OR ROAD MAINTENANCE, UNLESS SUCH MANUFACTURE OR USE COMPLIES WITH THE PROVISIONS RULE 217. (BASED ON APCD RULE 217).

6. PROCESSES THAT DISCHARGE 2 POUNDS PER DAY OR MORE OF AIR CONTAMINANTS, AS DEFINED BY HEALTH AND SAFETY CODE SECTION 39013, TO THE ATMOSPHERE MAY REQUIRE A PERMIT. PERMITS MAY BE REQUIRED FOR BOTH CONSTRUCTION AND OPERATION. DEVELOPERS/CONTRACTORS SHOULD CONTACT THE DISTRICT PRIOR TO CONSTRUCTION AND OBTAIN ANY NECESSARY PERMITS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. (BASED ON THE CALIFORNIA HEALTH & SAFETY CODE SECTION 39013: HTTP://NI/WW.LEGINFO.CA.GOV/CGI-BINIDISPLAYCODE?SECTION-HSC&GROUP =39001-40000&FILE=39010-39060

EROSION / SEDIMENT CONTROL:

1. THE STATE'S GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (WQD 99-080-DWQ) REQUIRES THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR SITES WITH SOIL DISTURBANCES GREATER THAN OR EQUAL TO ONE ACRE, OR FROM SITES SMALLER THAN ONE ACRE IF THE CONSTRUCTION ACTIVITY IS PART OF A LARGER PLAN OF DEVELOPMENT OR SALE THAT DISTURBS ONE ACRE OR MORE. CONSTRUCTION ACTIVITY SHALL NOT COMMENCE, NOR A PRE-CONSTRUCTION MEETING PERMITTED TO BE SCHEDULED, PRIOR TO THE SWPPP BEING ACCEPTED BY THE CITY. FOR MORE INFORMATION SEE; HTTP://WWW.ROSEVILLE.CA.US/EU/STORMWATER_MANAGEMENT

2. THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS INCORPORATED BY REFERENCE INTO THIS SET OF PLANS (REFER TO GRADING NOTE #2, THIS SHEET). THE SWPPP IS CONSIDERED A DYNAMIC DOCUMENT AND WILL CHANGE AS CONDITIONS WARRANT. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AS SHOWN ON THESE PLANS.

3. A COPY OF THE SWPPP SHALL BE KEPT AT THE PROJECT SITE AT ALL TIMES.

4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED IN THE SWPPP AND/OR AS DIRECTED BY CITY INSPECTOR.

5. NO GRADING OR TRENCHING, EXCEPT AS REQUIRED FOR EROSION OR SEDIMENT CONTROL, SHALL OCCUR WITHIN 35 FEET FROM THE CENTERLINE OF PERENNIAL AND INTERMITTENT DRAINAGE SWALES BETWEEN OCTOBER 15 AND APRIL 15 EXCEPT AS APPROVED BY THE DEPARTMENT OF FISH AND GAME.

6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE SWPPP.

7. THE CONTRACTOR SHALL ESTABLISH A SPECIFIC SITE WITHIN THE DEVELOPMENT FOR MAINTENANCE AND STORAGE OF EQUIPMENT OR ANY OTHER ACTIVITY THAT MAY ADVERSELY CONTRIBUTE TO THE WATER QUALITY OF THE RUNOFF IN ACCORDANCE WITH THE SWPPP.

8.

CITY OF ROSEVILLE GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION AND AMENDMENTS OF THE CITY OF ROSEVILLE DESIGN AND CONSTRUCTION STANDARDS.

2. THE CITY OF ROSEVILLE IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL SYSTEM. THE CONTRACTORS SHALL NOTIFY THE U.S.A. CENTER 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING 1-800-227-2600.

3. THE CONTRACTOR SHALL MARK IN WHITE PAINT ALL AREAS TO BE EXCAVATED PRIOR TO CONTACTING U.S.A. ANY AREAS NOT MARKED WILL NOT BE SUBJECT TO U.S.A., AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM EXCAVATION.

4. THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OF THE NEW IMPROVEMENTS CONNECTING TO OR IN THE VICINITY OF THE SAME.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS ON THE JOB SITE.

6. THE CONTRACTOR SHALL PLACE BOXED SURVEY MONUMENTS WITH 1-1/2" BRONZE HEAD SET IN CONCRETE (STD. DWG. ST-36) AT LOCATIONS SHOWN ON THESE PLANS.

7. A.C. SURFACE SHALL BE CUT TO A NEAT, STRAIGHT LINE PARALLEL WITH THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING. THE EXPOSED BASE MATERIAL SHALL BE GRADED, RE-COMPACTED, AND RESEALED PRIOR TO PAVING.

8. ANY EXISTING CONCRETE SURFACE TO BE REMOVED SHALL BE SAW CUT TO A NEAT, STRAIGHT LINE.

9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN THAT SHALL BE ACCEPTED BY THE ENGINEERING DIVISION OF PUBLIC WORKS BEFORE START OF WORK IN RIGHT-OF-WAY AND SHALL BE IN ACCORDANCE WITH CALIFORNIA MUTCD LATEST EDITION. AT LEAST ONE LANE IN EACH DIRECTION SHALL REMAIN OPEN TO TRAFFIC UNLESS OTHERWISE SHOWN ON THE PLANS. TRAFFIC CONTROL HOURS ARE SUBJECT TO LIMITATION BY THE CITY. TRAFFIC CONTROL WITH LANE CLOSURES THAT AFFECT TRAFFIC FLOW MAY REQUIRE NIGHT WORK. IF, AS A PART OF TRAFFIC CONTROL MEASURES, A ROADWAY CLOSURE HAS BEEN APPROVED, THE CONTRACTOR SHALL NOTIFY DEVELOPMENT SERVICES CONSTRUCTION INSPECTOR 72 HOURS IN ADVANCE OF SETTING UP THIS CLOSURE.

10. CURB RAMPS CONFORMING TO ALL ADA AND TITLE 24 REQUIREMENTS SHALL BE PLACED AT ALL NEW STANDARD CURB RETURNS (STANDARD DRAWING ST-27) AND STANDARD TYPE A-7 DRIVEWAYS. WHERE EXISTING RAMPS DO NOT MEET CURRENT ADA AND TITLE 24 REQUIREMENTS, THE RAMPS SHALL BE UPGRADED IN CONFORMANCE WITH MINIMUM TITLE 24 REQUIREMENTS. WHERE EXISTING RAMPS DO NOT INCLUDE DETECTABLE WARNING PANELS (TRUNCATED DOMES), PANELS SHALL BE RETROFITTED PER THE CONSTRUCTION STANDARDS.

11. DRAIN INLETS NOT WITHIN A PAVED AREA SHALL HAVE A 12" WIDE COLLAR OF 6" THICK P.C.C. OR 2" THICK A.C. DRAIN INLETS INSTALLED IN MULCHED PLANTER AREAS SHALL HAVE A 12" WIDE COLLAR OF 2" TO 6" COBBLE PLACED OVER FILTER FABRIC.

12. PRIOR TO THE CERTIFICATE OF COMPLETION ON ALL SINGLE-FAMILY RESIDENTIAL SUBDIVISIONS, THE DEVELOPER SHALL SUBMIT A LETTER FROM THE POST OFFICE STATING THAT ITS REQUIREMENTS FOR MAILBOX CLUSTER PADS HAVE BEEN SATISFIED.

13. ALL UNDERGROUND UTILITIES WITHIN EXISTING OR PROPOSED CITY OF ROSEVILLE EASEMENTS SHALL REQUIRE A MINIMUM OF 90% COMPACTION ON THE TRENCH BACKFILL. COMPACTION OF BACKFILL BY JETTING IS NOT PERMITTED IN CITY OF ROSEVILLE RIGHT OF WAY AND EASEMENT AREAS OR WITHIN DEDICATED RECLAIMED WATER, STORM, SEWER OR WATER EASEMENTS AND MAINS.

14. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ONE-WEEK PRIOR TO STARTING WORK. MEMBERS OF THE CITY OF ROSEVILLE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL UTILITIES DEPARTMENT AND ALL OTHER UTILITY REPRESENTATIVES SHALL BE NOTIFIED BY THE CONTRACTOR AS TO THE DATE AND LOCATION OF THE MEETING.

15. PRIOR TO EXCAVATION OF TRENCHES 5 FEET OR DEEPER, THE CONTRACTOR SHALL SUBMIT TO THE DEVELOPMENT SERVICES DEPARTMENT OR ENVIRONMENTAL UTILITIES DEPARTMENT INSPECTOR A COPY OF THE COMPANY'S ANNUAL CALOSHA TRENCHING PERMIT AND A COPY OF THE COMPANY'S LETTER INFORMING CALOSHA OF THE TIME THE TRENCHING IS COMMENCING AND THE LOCATION OF THE WORK.

16. ALL PAINTED TRAFFIC STRIPES, ARROWS, AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED WITH THERMOPLASTIC MATERIAL TO THE SPECIFICATIONS SET FORTH IN CHAPTER 3 OF THE CALIFORNIA MUTCD LATEST EDITION. NON-REFLECTIVE PAVEMENT MARKERS SHALL CONSIST OF CERAMIC MARKERS ONLY CONFORMING TO CHAPTER 3 OF THE CALIFORNIA MUTCD LATEST EDITION.

17. THE DEVELOPERS CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT EXISTING SITE AND ADJACENT IMPROVEMENTS FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR MAKE REPLACEMENT OF ALL CRACKED AND OTHERWISE PRE-EXISTING DAMAGED PUBLIC IMPROVEMENTS ALONG THE FRONTAGE OF THE PROJECT SITE AND ANY DAMAGE RESULTING FROM CONSTRUCTION TO CURRENT CITY STANDARDS AND AT THEIR OWN EXPENSE. THE EXTENT OF THE REPAIRS SHALL BE DETERMINED BY THE DEVELOPMENT SERVICES CONSTRUCTION INSPECTOR AND SHALL BE COMPLETED PRIOR TO THE CITY ACCEPTANCE OF THE IMPROVEMENTS.

18. WHERE COMBINATIONS OF SIDEWALK OR CURB AND GUTTER ARE PLACED CONTIGUOUS TO EXISTING, ALL ADJOINING EXISTING CONCRETE VERTICAL FACES SHALL BE DOWELED. ALL ABUTTING SIDEWALK ENDS SHALL BE DOWELED MID-SECTION VERTICALLY WITH TWO DOWELS FOR FOUR THROUGH SIX-FOOT WIDE SIDEWALK AND THREE DOWELS FOR WIDER SIDEWALK. ABUTTING CURB AND GUTTER ENDS SHALL BE DOWELED TWICE, 18 INCHES APART AT GUTTER PAN MID-SECTION. DOWEL CONNECTIONS OF LONGITUDINAL RUNS OF SIDEWALK TO BACK OF CURB SHALL BE THREE FEET ON CENTER. ALL DOWELS SHALL BE 16 INCHES LONG, GRADE 60; #4 REBAR PENETRATING FOUR INCHES. THE DOWEL HOLE SHALL BE 5/8-INCH DIAMETER AT A SLIGHT HORIZONTAL ANGLE FROM PERPENDICULAR. THE PENETRATING PORTION OF THE DOWEL AND THE ENTIRE (CLEANED) VERTICAL SURFACE OF THE ADJOINING, EXISTING CONCRETE SHALL BE THOROUGHLY COATED WITH STATE STANDARD TWO-PART EPOXY.

19. WHEN SAWCUTTING WITHIN THE STREET FOR TRENCHING OR OTHER PURPOSES, CONTRACTOR SHALL GRIND 1½" OF PAVEMENT BETWEEN THE LANE LINES (FROM LANE STRIPE TO LANE STRIPE) UPON COMPLETION OF THE SAWCUTTING AND OR TRENCHING WORK. WHERE THE SAWCUTTING OCCURS BETWEEN THE CURB AND GUTTER AND NEAREST LANE STRIPE (INCLUDING BIKE LANES), THE SAME 1 ½" GRIND SHALL BE REQUIRED. CONTRACTOR TO PLACE A PETROMAT FABRIC OR APPROVED EQUAL BY THE CITY OF ROSEVILLE AND OVERLAY FROM LANE STRIPE TO LANE STRIPE, OR CURB TO LANE STRIPE AND RESTRIPE OR REPLACE ANY DELINEATORS REMOVED DURING THE GRIND.

20. ALL PUBLICLY MAINTAINED STORM DRAIN ON PRIVATE PROPERTY SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER AND SHALL BE RCP CL IV, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

21. FOR RESIDENTIAL SUBDIVISIONS, UNLESS OTHERWISE APPROVED BY DEVELOPMENT SERVICES ENGINEERING, THE FINAL GRADING OF THE PROJECT SITE SHALL BE CONSTRUCTED TO ACCOMMODATE A MAXIMUM DRIVEWAY SLOPE OF 14% FOR EACH RESIDENTIAL LOT, AS MEASURED FROM THE BACK OF THE SIDEWALK TO THE GARAGE (20-FT SET BACK). IT WILL REMAIN THE RESPONSIBILITY OF THE BUILDERS/DEVELOPER TO DESIGN A HOUSE THAT PROVIDES SUITABLE ACCESS TO THE PARCEL.

22. THE CONTRACTOR SHALL PLACE FILTER FABRIC BETWEEN THE INITIAL BEDDING AND BACKFILL AND THE TRENCH BACKFILL FOR SANITARY SEWERS DEPTH GREATER THAN 15 FEET MEASURED TO THE PIPE INVERT.

GENERAL FIRE DEPARTMENT NOTES

1. AN APPROVED PROJECT SIGN SHALL BE PLACED AT VEHICLE ACCESS POINTS INTO THE PROJECT DURING CONSTRUCTION TO ASSIST EMERGENCY RESPONDERS. THE SIGN SHALL IDENTIFY THE ADDRESS, AS APPROVED BY THE CITY OF ROSEVILLE. SUCH SIGNS SHALL BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROJECT.

2. PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT TO THE SITE, FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED TO WITHIN 150 FEET OF ALL STRUCTURES AND COMBUSTIBLE STORAGE PILES. FIRE APPARATUS ACCESS ROADS SHALL BE FULLY PAVED AND SHALL BE DESIGNED TO SUPPORT THE IMPOSED WEIGHT OF A FIRE APPARATUS (34 TONS GVW), UNLESS PRIOR APPROVAL IS OBTAINED FROM THE FIRE DEPARTMENT FOR TEMPORARY ACCESS ROADS. ACCESS ROADS SHALL BE PROVIDED WITH A MINIMUM 20-FOOT ROADWAY WIDTH AND 13 FOOT 6 INCH VERTICAL CLEARANCE.

3. PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT TO THE SITE, ANY REQUIRED ON-SITE FIRE HYDRANTS SHALL BE COMPLETED AND ACCEPTED BY THE ROSEVILLE FIRE DEPARTMENT.

4. CONSTRUCTION MATERIAL AND VEHICLES SHALL NOT OBSTRUCT FIRE APPARATUS ACCESS TO FIRE APPARATUS ROADS, FIRE HYDRANTS OR THE BUILDING.

5. BARRICADES SHALL BE PROVIDED TO PROTECT ANY NATURAL GAS METER, FIRE HYDRANT, FIRE DEPARTMENT CONTROL DEVICE, OR OTHER POSSIBLE PERTINENT EQUIPMENT OR DEVICES THAT MAY BE SUBJECT TO VEHICULAR DAMAGE.

6. PROVIDE AND MAINTAIN A MINIMUM 3-FOOT CLEAR SPACE AROUND FIRE PROTECTION EQUIPMENT.

7. THE BURNING OF COMBUSTIBLE CONSTRUCTION MATERIALS AND TRASH IS PROHIBITED.

8. ASPHALT AND TAR KETTLES SHALL NOT BE LOCATED WITHIN 20 FEET OF ANY COMBUSTIBLE MATERIAL, COMBUSTIBLE BUILDING SURFACE OR BUILDING OPENING. AN ATTENDANT SHALL BE WITHIN 100 FEET OF A KETTLE WHEN THE HEAT SOURCE IS OPERATING. A MINIMUM OF ONE (1) 20B:C PORTABLE FIRE EXTINGUISHER SHALL BE LOCATED WITHIN 30 FEET OF THE KETTLE, AND ON THE ROOF DURING ASPHALT COATING OPERATIONS.

9. DRYWALL AND OTHER TEMPORARY HEATING DEVICES SHALL BE OF AN APPROVED TYPE, LOCATED AWAY FROM COMBUSTIBLE MATERIALS AND ATTENDED AND MAINTAINED AT ALL TIMES. HEATING DEVICES SHALL NOT BE OPERATED AFTER NORMAL WORKING HOURS WITHOUT BEING ATTENDED TO ON AN HOURLY BASIS.

10. CUTTING AND WELDING OPERATIONS SHALL CONFORM TO THE HOT WORK PROVISIONS OF CHAPTER 35 OF THE FIRE CODE. A FIRE WATCH SHALL BE PROVIDED DURING HOT-WORK ACTIVITIES AND SHALL CONTINUE FOR A MINIMUM OF 30 MINUTES AFTER THE CONCLUSION OF THE WORK.

11. IF SITE SURVEY OR EARTH MOVING WORK RESULTS IN THE DISCOVERY OF HAZARDOUS MATERIALS IN CONTAINERS, OR WHAT APPEARS TO BE HAZARDOUS WASTES RELEASED INTO THE GROUND, THE CONTRACTOR OR APPLICANT SHALL IMMEDIATELY REPORT THE FINDING TO THE ROSEVILLE FIRE DEPARTMENT VIA PHONE AT (916) 774-5800. ALL SUSPECTED AREAS SHALL BE MARKED OFF WITH APPROVED SIGNAGE OR CAUTION TAPE UNTIL SUCH TIME THAT A REPRESENTATIVE FROM THE FIRE DEPARTMENT DETERMINES WHETHER THE RELEASE IS REPORTABLE OR NOT AND IF SITE REMEDIATION IS REQUIRED.

12. FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 OF THE CALIFORNIA FIRE CODE.

13. ADEQUATE RADIO COVERAGE SHALL BE PROVIDED WITHIN BUILDINGS FOR PUBLIC SAFETY AGENCIES, AS REQUIRED BY FIRE CODE.

14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN OCCUPANCIES AND LOCATIONS AS SET FORTH IN THE CALIFORNIA FIRE CODE AND AS REQUIRED BY THE CHIEF. PROVIDE A MINIMUM OF ONE (1) PORTABLE FIRE EXTINGUISHER WITHIN EACH TENANT SPACE. THE MAXIMUM TRAVEL DISTANCE TO THE FIRE EXTINGUISHER SHALL NOT EXCEED 75-FEET. THE MINIMUM RATING CLASSIFICATION FOR THE EXTINGUISHER SHALL BE NOT LESS THAN 2A-10B:C. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN A LIGHT HAZARD AREA OF CLASS A HAZARDS SHALL NOT BE MORE THAN 75 FEET FROM A CLASS 2A-10B:C. FIRE EXTINGUISHER AND ONE EXTINGUISHER SHALL BE PROVIDED FOR EACH 6,000 SQUARE FEET. THE MAXIMUM TRAVEL DISTANCE FROM ANY POINT IN AN ORDINARY HAZARD OF CLASS A HAZARDS AREA SHALL NOT BE MORE THAN 75 FEET AND ONE EXTINGUISHER SHALL BE PROVIDED FOR EACH 3,000 SQUARE FEET. THE MAXIMUM TRAVEL DISTANCE TO CLASS B EXTINGUISHERS IS EITHER 30 FEET OR 50 FEET DEPENDING UPON THE SIZE OF THE EXTINGUISHER AND THE CLASSIFICATION OF THE HAZARD. REFER TO UFC STANDARD NO. 10-1 FOR COMPLETE REQUIREMENTS. ALL PORTABLE FIRE EXTINGUISHERS SHALL HAVE A SERVICE TAG AFFIXED TO THEM SHOWING THAT THE EXTINGUISHER HAS BEEN SERVICED BY A CALIFORNIA STATE LICENSED FIRE EXTINGUISHER CONCERN. ALL FIRE EXTINGUISHERS SHALL BE ATTACHED TO A BRACKET OR WITHIN AN APPROVED CABINET. MAXIMUM DISTANCE FROM THE FLOOR SHALL NOT EXCEED 54-INCHES. SIGNAGE SHALL BE POSTED ABOVE THE EXTINGUISHER AND SHALL READ FIRE EXTINGUISHER.

15. THE REQUIRED MINIMUM FIRE FLOW FOR THE PROTECTION OF THE PROPOSED PROJECT IS ___ GALLONS PER MINUTE WITH 20 POUNDS PER SQUARE INCH RESIDUAL WATER PRESSURE REMAINING IN THE SYSTEM. A CHANGE IN ANY OF THE CONDITIONS MAY INCREASE THE REQUIRED FIRE FLOW.

16. ALL UNDERGROUND FIRE LINE SHALL BE HYDRAULICALLY PRESSURED AT 200 PSI FOR TWO-HOURS PER THE NFPA STANDARD FOR UNDERGROUND FIRE WATER LINE. AN INSPECTION SHALL BE REQUIRED TO WITNESS THE TEST WITH A SUBSEQUENT INSPECTION AFTER THE TWO-HOUR DURATION HAS EXPIRED.

17. TEMPORARY USE OF ON-SITE GENERATORS WITH OVER 60 GALLONS OF DIESEL FUEL SHALL REQUIRE A FIRE DEPARTMENT PERMIT AND MUST MEET THE REQUIREMENTS OF THE CHAPTER 6.95 OF THE HEALTH AND SAFETY CODE, THE ROSEVILLE FIRE DEPARTMENT AND THE NATIONAL FIRE CODES. CONTACT THE FIRE DEPARTMENT AT 916-774-5800 TO INITIATE THE PERMIT APPLICATION.

18. SECTION 10.6.2 OF NFPA 24 HAS BEEN AMENDED NOT TO ALLOW MECHANICAL JOINTS UNDER BUILDINGS. SEE CHAPTER 80 OF THE CALIFORNIA FIRE CODE, PAGE 519. PROVIDE DETAIL OF THE PROPOSED RISER AND UNDERGROUND DETAIL TO THE PAD.

19. CIVIL IMPROVEMENT PLANS SHALL BE RESUBMITTED IF IT HAS BEEN DETERMINED BY THE APPLICANT THAT AN ON-SITE FIRE PUMP WILL BE REQUIRED AS THE RESULT OF SUPPLYING 100 PSI RESIDUAL PRESSURE AT THE STANDPIPE ROOF OUTLET ACCORDANCE WITH NFPA 14, STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS.

20. THE SUBMITTED PRIVATE UNDERGROUND FIRE LINE SHALL BE REVIEWED AND APPROVED BY THE ENVIRONMENTAL UTILITIES DEPARTMENT (EUD) IN CONJUNCTION WITH THE FIRE DEPARTMENT (RFD) PRIOR TO REQUESTING FOR THE REQUIRED INSPECTION FROM THE RFD. THE FIRE SPRINKLER PLANS WILL NOT BE APPROVED BY THE RFD UNTIL THE UNDERGROUND SERVICE LATERAL HAS BEEN INSPECTED AND ACCEPTED BY THE RFD.

21. ALL PROPOSED BURIED BOLTS SHALL BE COATED WITH A LISTED PRODUCT SUCH AS CHRISTY'S HD-50.

22. ACCORDING TO NFPA 13, 6.3.1.1.1, THE UNDERGROUND FIRE LINE CANNOT EXTEND INTO THE BUILDING FURTHER THAN 24 INCHES.

23. AN 18 AWG MINIMUM GAUGE TRACER WIRE SHALL BE INSTALLED ALONG ALL NON-METALLIC UNDERGROUND PIPING IN ACCORDANCE WITH SECTION 604 OF THE CALIFORNIA PLUMBING CODE. NOTATIONS SHALL BE MADE ON THE RESUBMITTAL.

24. FIRE DEPARTMENT CONNECTION(S) SHALL BE WITHIN 2-FEET OF BACK OF CURB OR BACK OF WALKWAY, AND SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.

25. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE LABELED WITH THE APPROPRIATE ADDRESS.

26. MECHANICAL JOINTS SHALL BE INSTALLED AT AREAS NOTED PER THE EBBA THRUST RESTRAINT DESIGN PROGRAM SPECIFICATIONS.

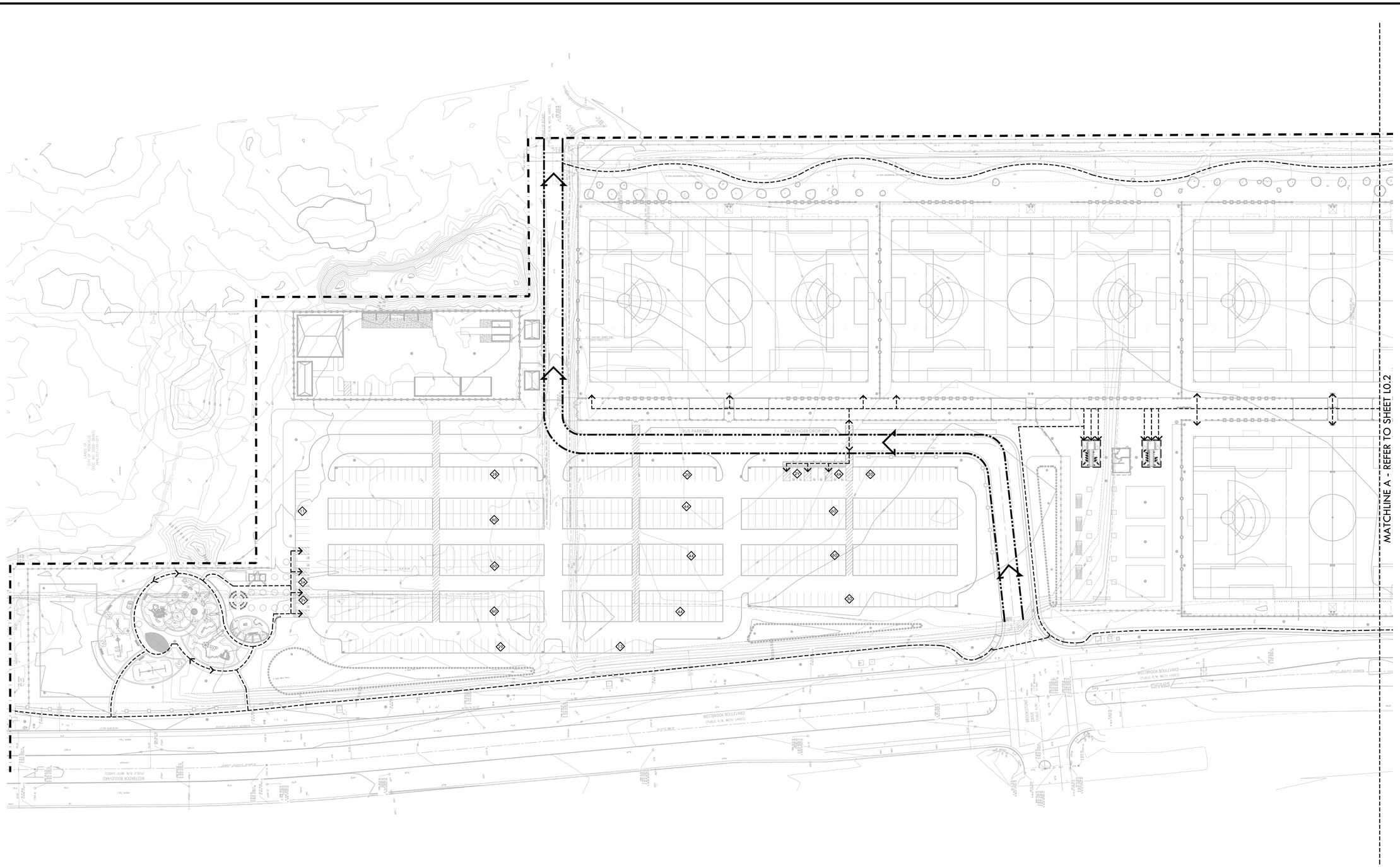
27. CONDUITS SHALL BE INSTALL AND AVAILABLE FOR FUTURE MONITORING OF ALL FIRE PROTECTION DEVICES.

28. ALL WORK SHALL BE INSPECTED BY THE FIRE DEPARTMENT PRIOR TO INSTALLING GROUND MATERIALS.

29. TO SCHEDULE A FIRE DEPARTMENT INSPECTION FOR ANY ON-SITE WORK, FOLLOW THE DIRECTIONS USING THE CITY OF ROSEVILLE CITIZEN PORTAL AT PERMITSONLINE.ROSEVILLE.CA.US. THE FOLLOWING BD NUMBER BELOW SHALL BE USED WHEN SCHEDULING A FIRE DEPARTMENT INSPECTION. A BD NUMBER WILL BE ISSUED UPON APPROVAL. ALL INQUIRING REGARDING INSPECTIONS AND PERMIT FEES SHALL BE MADE BY CALLING (916) 774-5332. BD_____.

GENERAL NOTES

1. PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOC



PARKING INFORMATION

	NON-ACCESSIBLE STALLS	PROPOSED ACCESSIBLE STALLS	REQUIRED ACCESSIBLE STALLS*	TOTAL ACCESSIBLE STALLS
NORTH LOT	595	7A, 5V	12	12
SOUTH LOT	360	5A, 4V	8	9
TOTAL PARKING PROVIDED				955

*NUMBER OF REQUIRED ACCESSIBLE STALLS PER CBC 118-208.2

ACCESSIBILITY LEGEND

SYM	DESCRIPTION
	PROJECT LIMIT OF WORK
	ADA ACCESSIBLE PATH OF TRAVEL (4 FT. MIN. WIDTH @ S=5% MAX.)
	ADA ACCESSIBLE POINT OF ENTRY
	VEHICULAR ACCESS (24 FT. MIN. WIDTH - ARROWS INDICATE TRAVEL DIRECTION)
	FIRE DEPARTMENT ACCESS - FIRE DEPARTMENT ACCESS IS 20' AND RATED 96,000 LBS
	TRUNCATED DOMES, REFER TO DETAIL X, SHEET XX.
DF	NEW DRINKING FOUNTAIN, REFER TO DETAIL X, SHEET XX

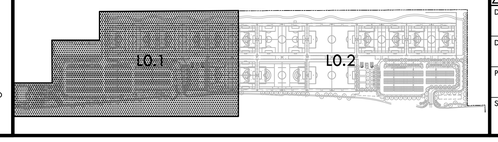
ACCESSIBILITY PLAN NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING ½" BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES EXCEEDING ¼" MAX. AND A LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
3. ACCESSIBLE PARKING
   SIGNAGE REQUIREMENTS: THE AMENDED REGULATIONS INDICATE THAT THE SIGNAGE AT ACCESSIBLE PARKING SPACES SHALL INCLUDE "MINIMUM FINE $250" BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS EITHER AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE. THIS FINE POSTING REQUIREMENT IS IN ADDITION TO OTHER SIGNAGE REGULATIONS CONTAINED IN THE CALIFORNIA BUILDING CODE FOR ACCESSIBLE PARKING SPACES.
4. STRIPING REQUIREMENTS:
   THE REVISED REGULATIONS INDICATE THAT THE ACCESSIBLE PARKING SPACE STRIPING SHALL BE AS FOLLOWS. THE BORDER (PERIMETER) SHALL BE PAINTED BLUE. THE HATCHING WITHIN THE LOADING AND UNLOADING ACCESS AISLE SHALL BE PAINTED A SUITABLE CONTRASTING COLOR TO THE PARKING SPACE AT 3'-0" MAXIMUM ON CENTER. BLUE OR WHITE PAINT IS PREFERRED.

NORTH

0' 25' 50' 100' 200'

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

REGISTERED LANDSCAPE ARCHITECT
MARK S. BAGINSKI
No. 4089
Signature
EXPIRATION DATE: JULY 2023
STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE
ACCESSIBILITY PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
KL	MB
DATE ISSUED 04/29/2022	SCALE 1"=50'-0"

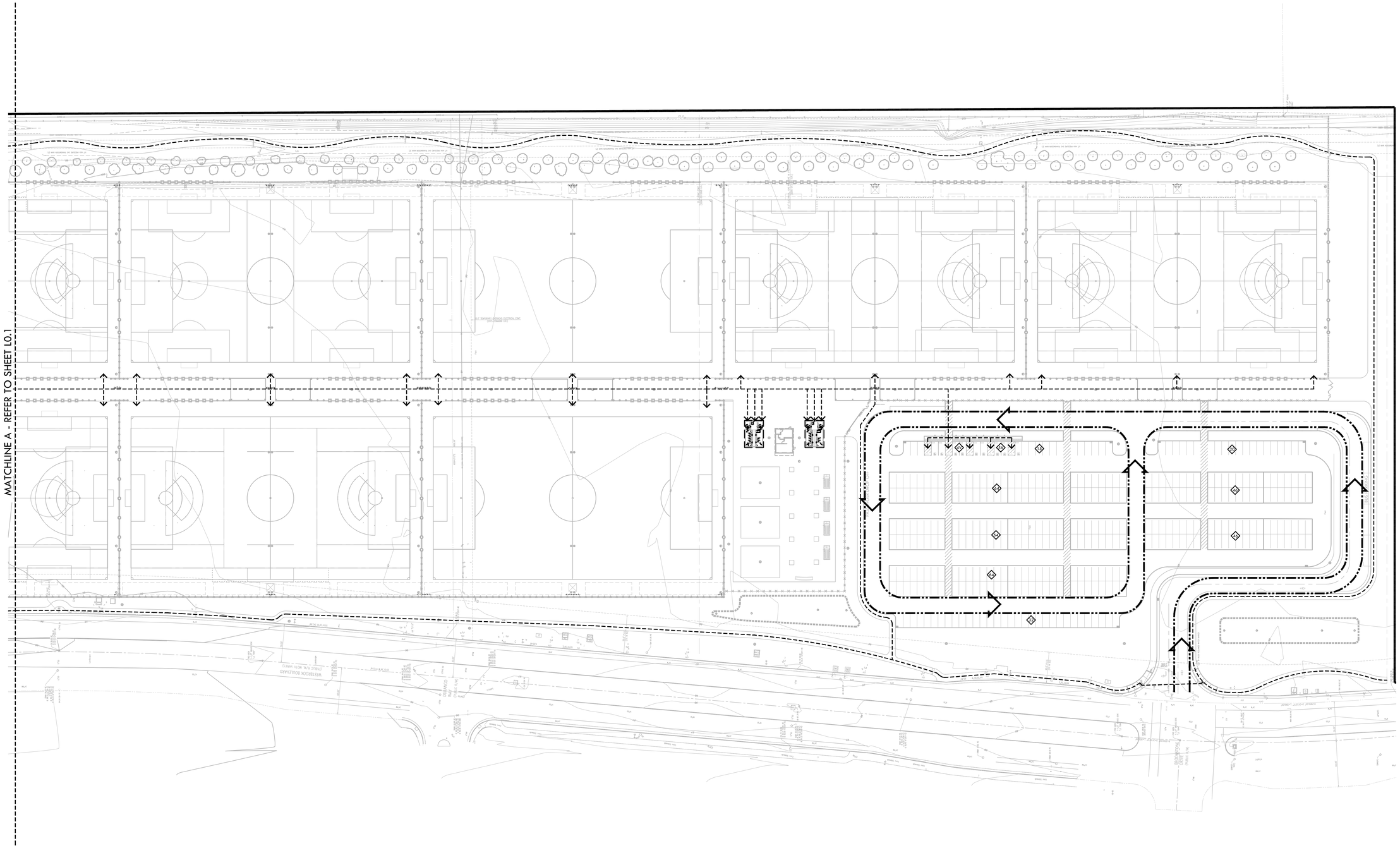
PROJ. NO. 2103800

SHEET NO. L0.1

ACCESSIBILITY PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY ANYONE ON OTHER PROJECTS EXCEPT BY VERDE DESIGN, INC. UNDER THEIR WRITTEN PERMISSION.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville & Soccer Complex\CAD_ACC-RSC.dwg
PLOT DATE: 06-24-22 PLOTTED BY: station46



PARKING INFORMATION

	NON-ACCESSIBLE STALLS	PROPOSED ACCESSIBLE STALLS	REQUIRED ACCESSIBLE STALLS*	TOTAL ACCESSIBLE STALLS
NORTH LOT	595	7A, 5V	12	12
SOUTH LOT	360	5A, 4V	8	9
			TOTAL PARKING PROVIDED	955

*NUMBER OF REQUIRED ACCESSIBLE STALLS PER CBC 118-208.2

ACCESSIBILITY LEGEND

SYM	DESCRIPTION
	PROJECT LIMIT OF WORK
	ADA ACCESSIBLE PATH OF TRAVEL (4 FT. MIN. WIDTH @ S=5% MAX.)
	ADA ACCESSIBLE POINT OF ENTRY
	VEHICULAR ACCESS (24 FT. MIN. WIDTH - ARROWS INDICATE TRAVEL DIRECTION)
	FIRE DEPARTMENT ACCESS - FIRE DEPARTMENT ACCESS IS 20' AND RATED 96,000 LBS
	TRUNCATED DOMES, REFER TO DETAIL X, SHEET XX.
DF	NEW DRINKING FOUNTAIN, REFER TO DETAIL X, SHEET XX

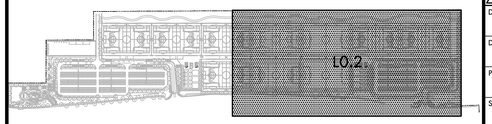
ACCESSIBILITY PLAN NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING ½" BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES EXCEEDING ¼" MAX. AND A LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
3. ACCESSIBLE PARKING
   SIGNAGE REQUIREMENTS: THE AMENDED REGULATIONS INDICATE THAT THE SIGNAGE AT ACCESSIBLE PARKING SPACES SHALL INCLUDE "MINIMUM FINE $250" BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS EITHER AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE. THIS FINE POSTING REQUIREMENT IS IN ADDITION TO OTHER SIGNAGE REGULATIONS CONTAINED IN THE CALIFORNIA BUILDING CODE FOR ACCESSIBLE PARKING SPACES.
4. STRIPING REQUIREMENTS:
   THE REVISED REGULATIONS INDICATE THAT THE ACCESSIBLE PARKING SPACE STRIPING SHALL BE AS FOLLOWS. THE BORDER (PERIMETER) SHALL BE PAINTED BLUE. THE HATCHING WITHIN THE LOADING AND UNLOADING ACCESS AISLE SHALL BE PAINTED A SUITABLE CONTRASTING COLOR TO THE PARKING SPACE AT 3'-0" MAXIMUM ON CENTER. BLUE OR WHITE PAINT IS PREFERRED.

NORTH

0' 25' 50' 100' 200'

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

REGISTERED LANDSCAPE ARCHITECT
MARK S. BAGINSKI
No. 4089
Signature
EXPIRATION DATE: JULY 2023
STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE
ACCESSIBILITY PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
KL	MB
DATE ISSUED 04/29/2022	SCALE 1"=50'-0"

PROJ. NO. 2103800

SHEET NO. L0.2

ACCESSIBILITY PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON ON ANY OTHER PROJECT EVEN IF SUCH PROJECT MAY BE SIMILAR TO THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_ACC-RSC.dwg
PLOT DATE: 04-29-22 PLOTTED BY: station46

EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 2000 FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROOK BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS OF PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

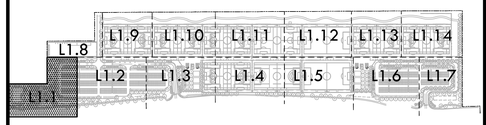
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G / GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6654
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA

09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

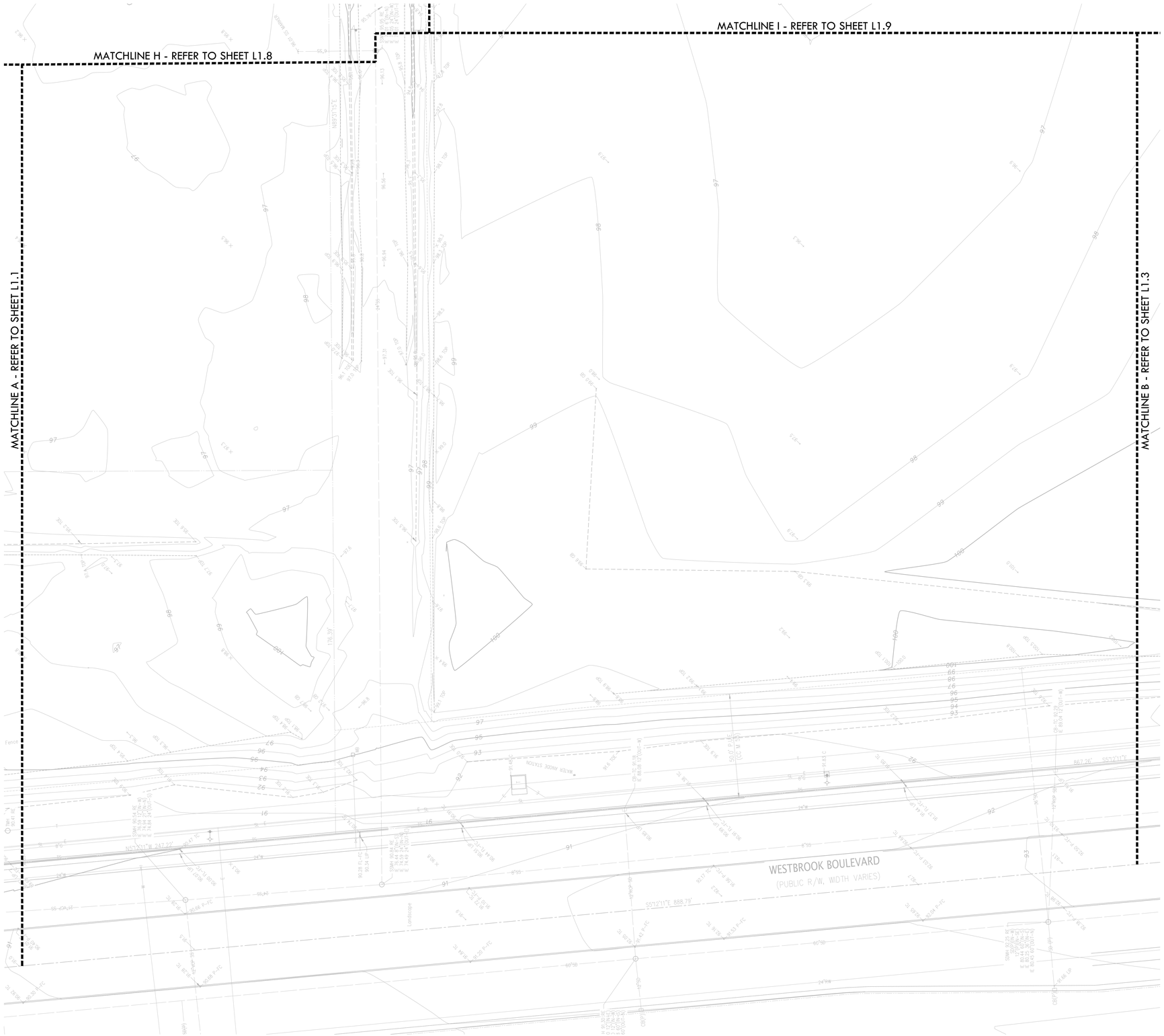
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.1	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE PREPARED, COLLECTED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT WRITTEN CONSENT.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 06-24-22 PLOTTED BY: station46

EXISTING CONDITIONS PLAN



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

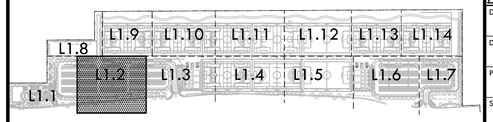
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.2	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE PREPARED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, EXCEPT AS SPECIFICALLY PROVIDED FOR BY A WRITTEN AGREEMENT WITH VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46

EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

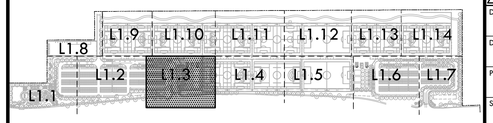
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

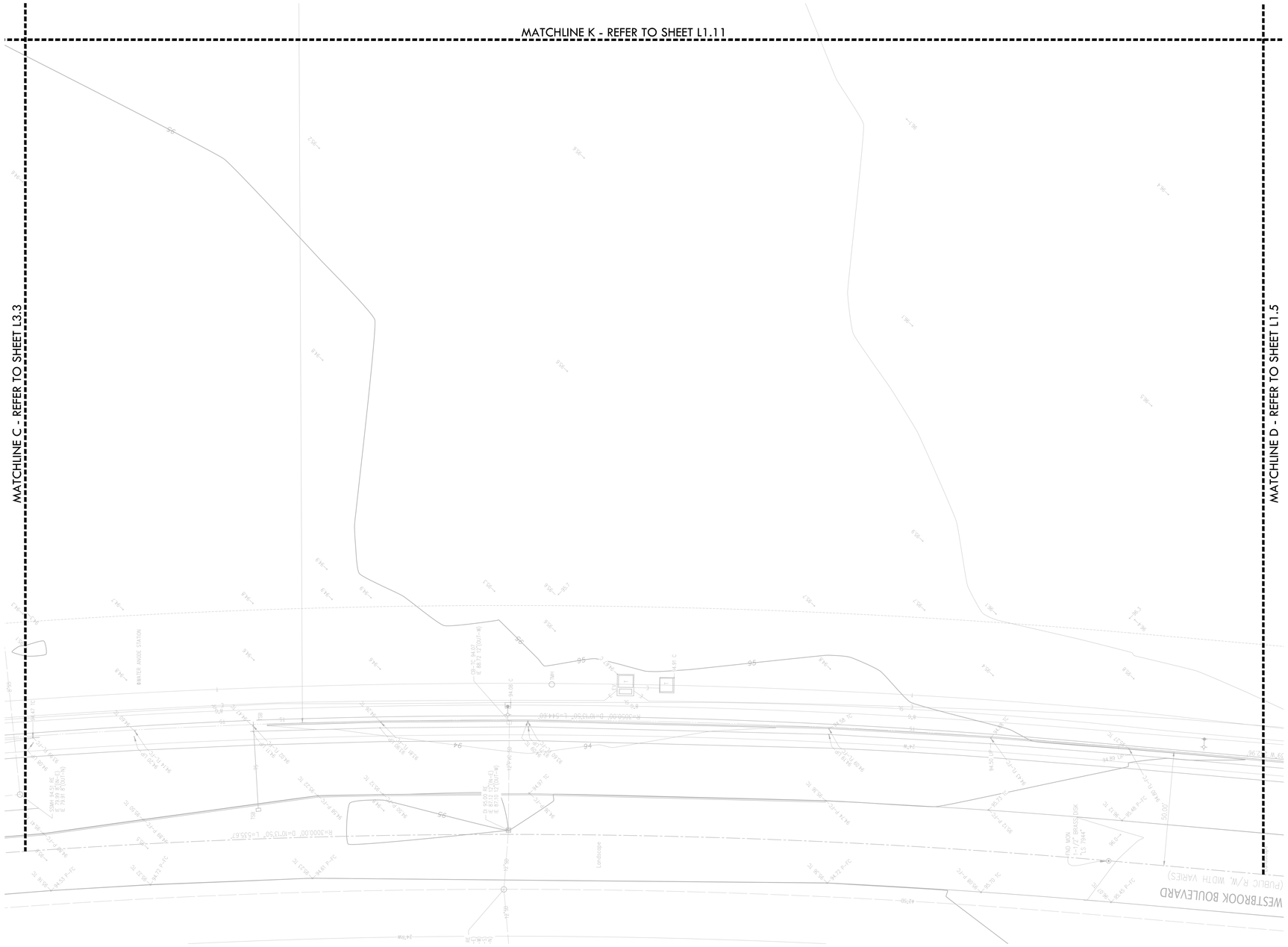
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.3	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT WRITTEN PERMISSION.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

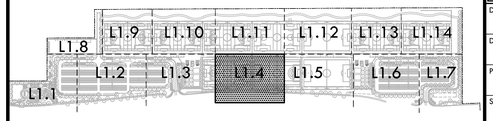
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

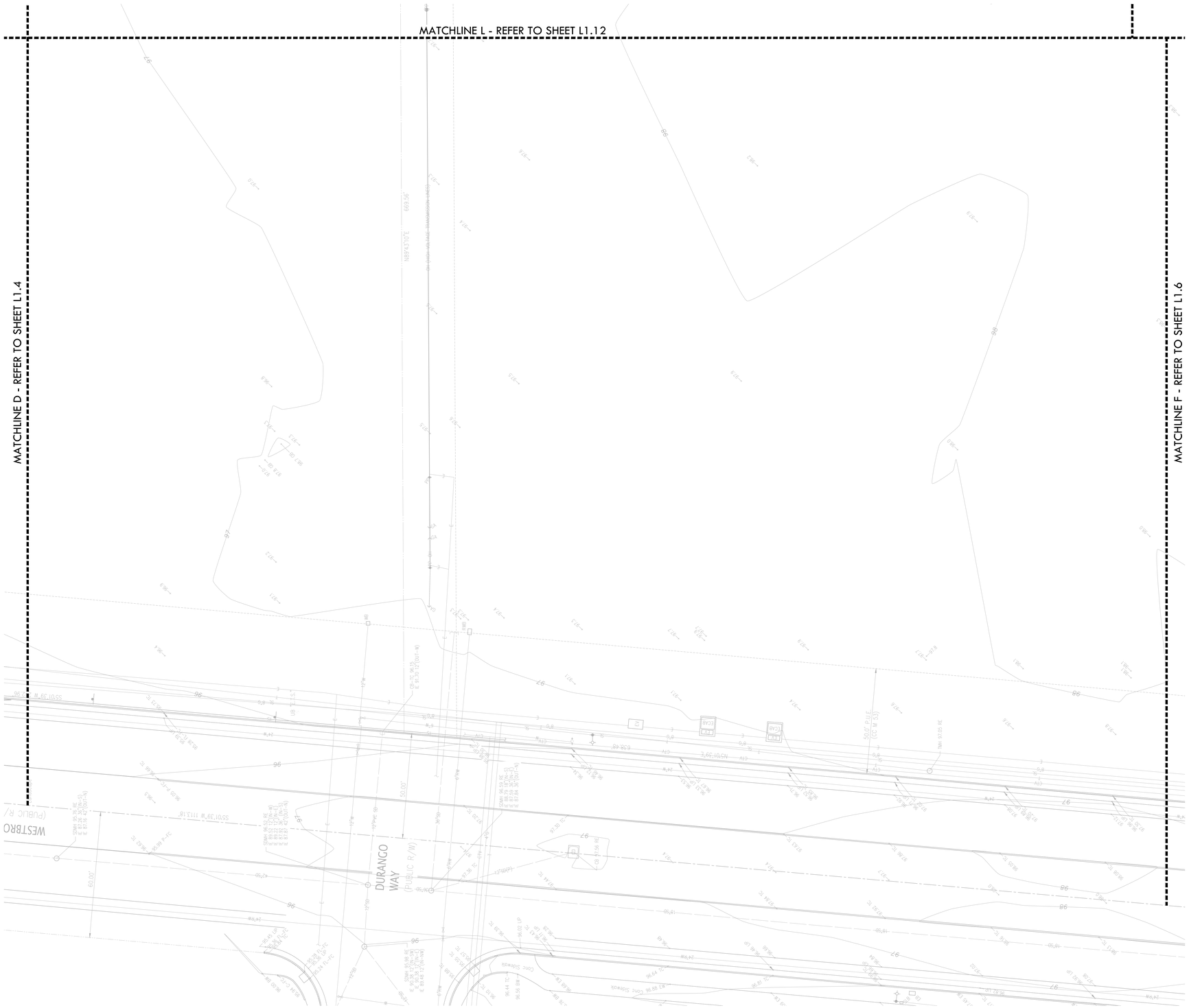
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.4	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT THE WRITTEN AGREEMENT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

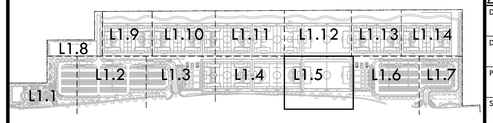
EXISTING CONDITIONS LEGEND

—CTV—	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
—E—	ELECTRIC LINE
—x—x—x—	FENCE LINE
—FO—	FIBER OPTICS LINE
—FS—	FIRE SERVICE LINE & VALVE
—G— GM	GAS LINE-VALVE & METER
—JT—	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
—OH—	OVERHEAD POWER LINE
	PROPERTY LINE
—SS—	SANITARY SEWER LINE-MANHOLE & CLEANOUT
—SS—	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
←100.00	SPOT ELEVATION
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE OVER 24"DIAMETER
—SL—	STREET LIGHT CONDUIT LINE
—T—	TELEPHONE LINE
—CTV—	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
—W—	WATER LINE & VALVE
—W—	WATER LINE OVER 24"DIAMETER
—RW—	RECLAIMED WATER LINE & VALVE
—RW—	RECLAIMED WATER LINE OVER 24"DIAMETER
—TS—	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VC	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.5	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE PREPARED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, EXCEPT AS SPECIFICALLY PROVIDED FOR BY A WRITTEN AGREEMENT WITH VERDE DESIGN, INC.

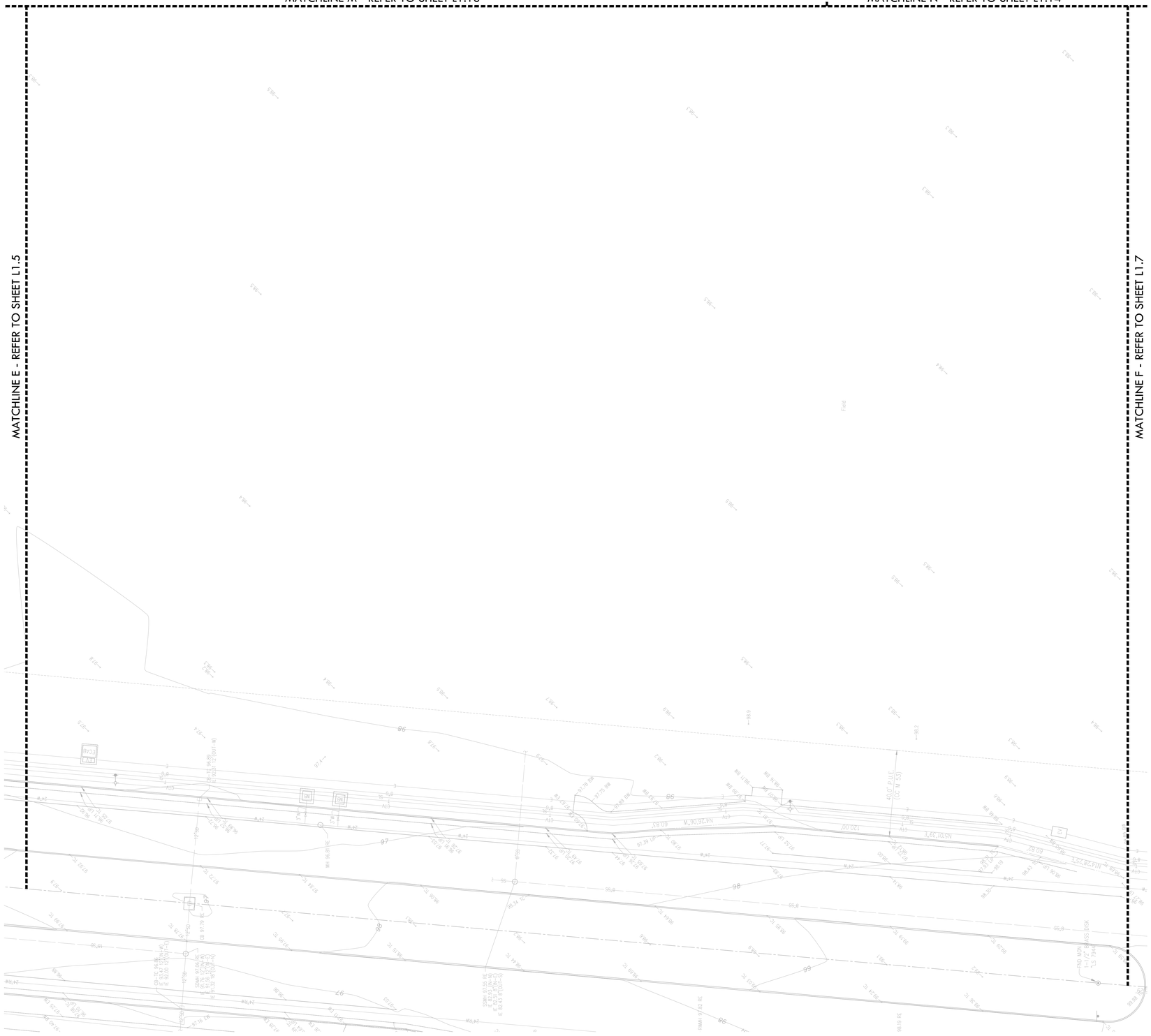
DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46

MATCHLINE M - REFER TO SHEET L1.13

MATCHLINE N - REFER TO SHEET L1.14

MATCHLINE E - REFER TO SHEET L1.5

MATCHLINE F - REFER TO SHEET L1.7



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

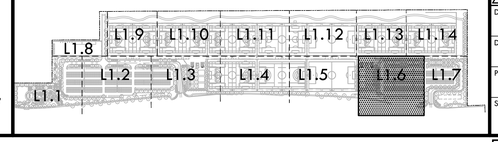
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

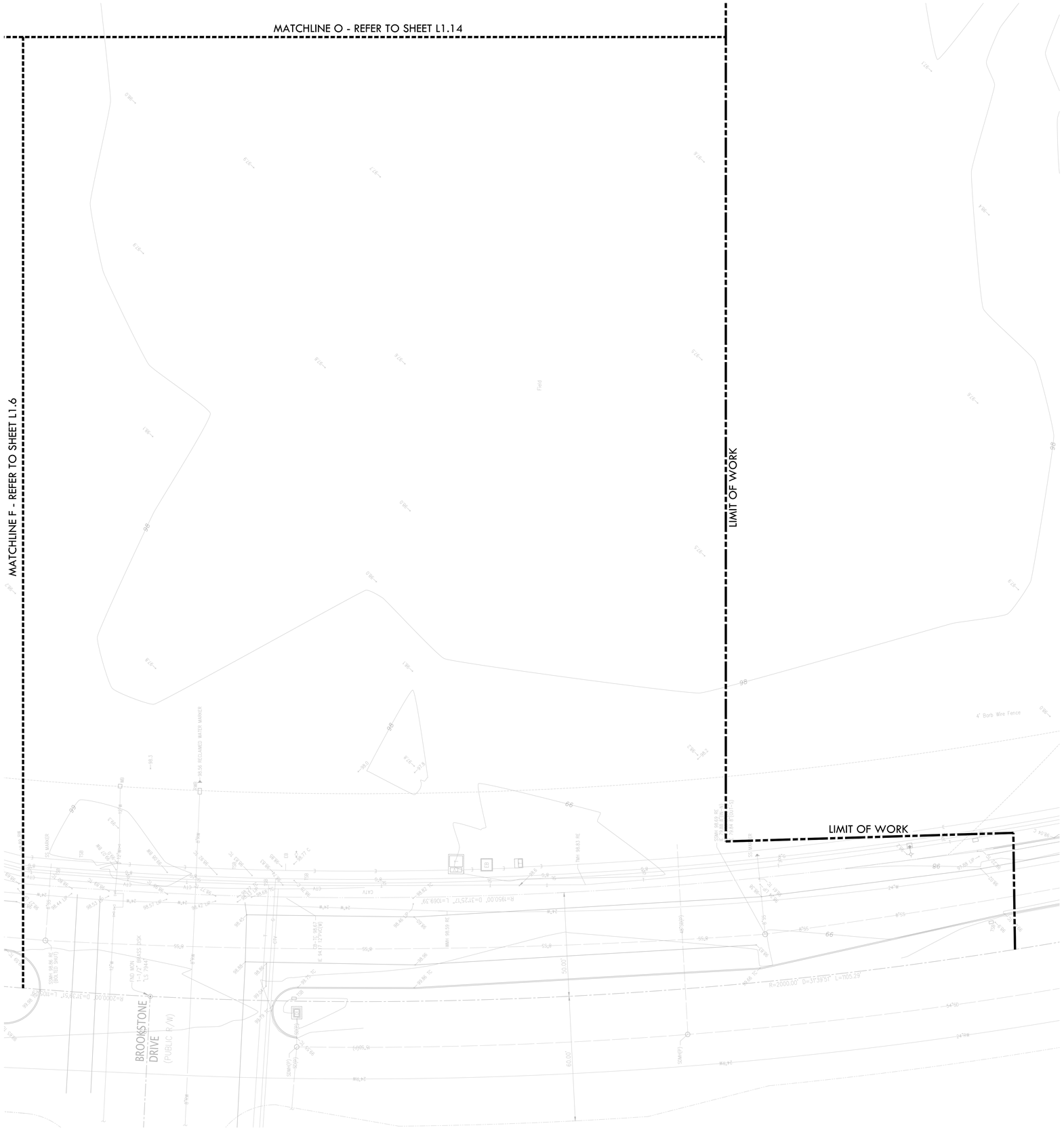
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.6	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT WRITTEN PERMISSION.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

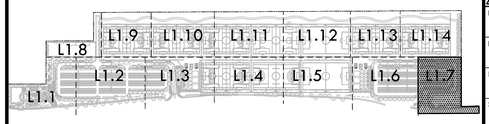
EXISTING CONDITIONS LEGEND

—CTV—	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
—E—	ELECTRIC LINE
	FENCE LINE
—FO—	FIBER OPTICS LINE
—FS—	FIRE SERVICE LINE & VALVE
—G— GM	GAS LINE-VALVE & METER
—JT—	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
—OH—	OVERHEAD POWER LINE
	PROPERTY LINE
—SS—	SANITARY SEWER LINE-MANHOLE & CLEANOUT
—SS—	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE OVER 24"DIAMETER
—SL—	STREET LIGHT CONDUIT LINE
—T—	TELEPHONE LINE
—CTV—	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
—W—	WATER LINE & VALVE
—W—	WATER LINE OVER 24"DIAMETER
—RW—	RECLAIMED WATER LINE & VALVE
—RW—	RECLAIMED WATER LINE OVER 24"DIAMETER
—TS—	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

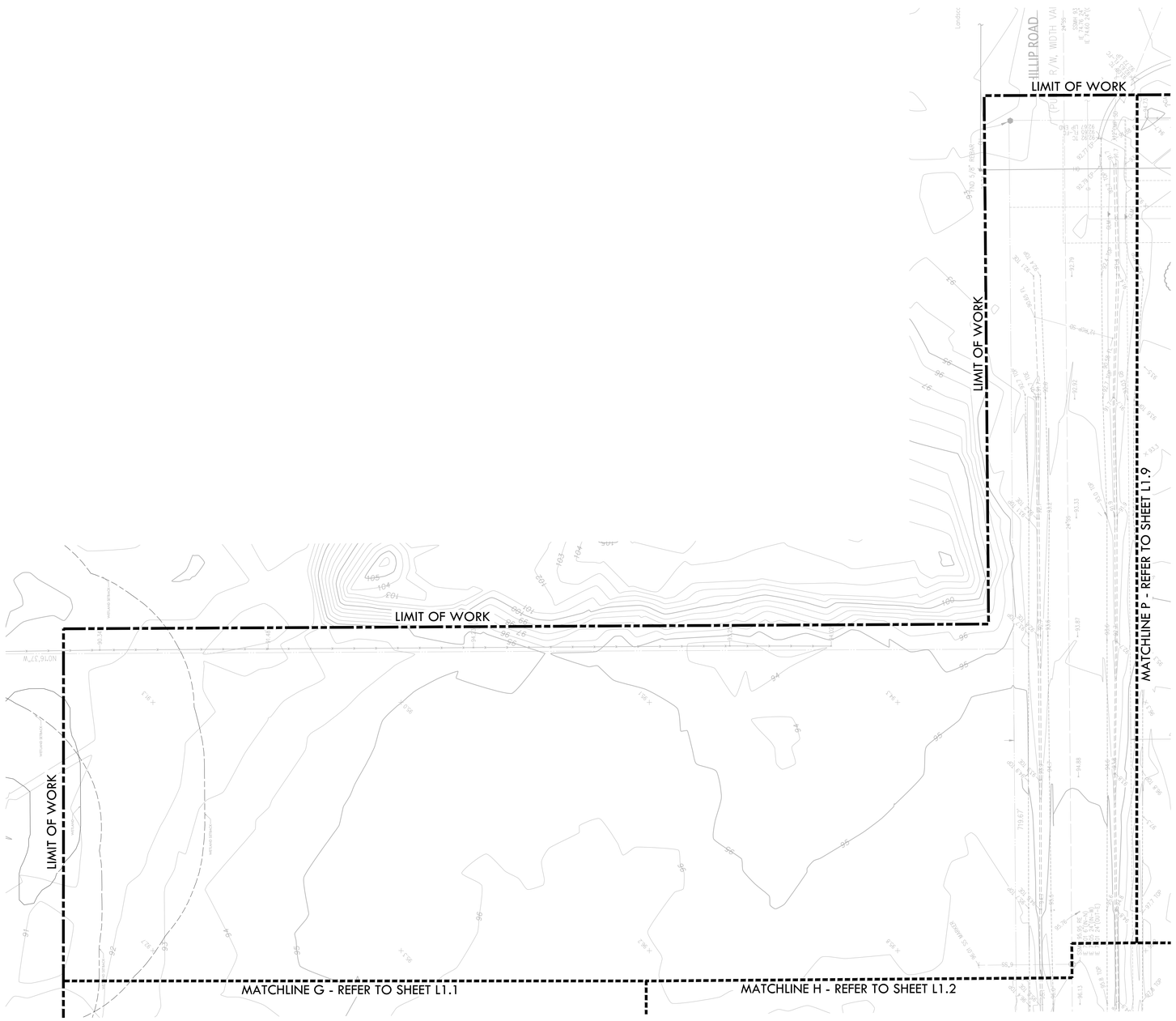
NO.	REVISIONS	DATE

DRAWN BY | CHECKED BY
DATE ISSUED: 04/29/2022
SCALE: 1"=20'-0"
PROJ. NO.: 2103800
SHEET NO.: L1.7

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, EXCEPT FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE VIEWED OR DISTRIBUTED TO ANY PERSON, FIRM OR CORPORATION OTHER THAN THOSE TO WHOM THIS DRAWING IS ISSUED.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville & Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

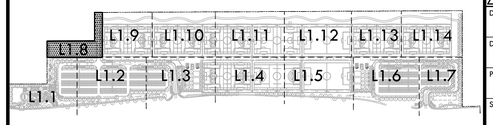
EXISTING CONDITIONS LEGEND

—CTV—	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
—E—	ELECTRIC LINE
—x—x—x—	FENCE LINE
—FO—	FIBER OPTICS LINE
—FS—	FIRE SERVICE LINE & VALVE
—G— GM	GAS LINE-VALVE & METER
—JT—	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
—OH—	OVERHEAD POWER LINE
	PROPERTY LINE
—SS—	SANITARY SEWER LINE-MANHOLE & CLEANOUT
—SS—	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
← 100.00	SPOT ELEVATION
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE-MANHOLE & CATCH BASIN
—SD—	STORM DRAIN LINE OVER 24"DIAMETER
—SL—	STREET LIGHT CONDUIT LINE
—T—	TELEPHONE LINE
—CTV—	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
—W—	WATER LINE & VALVE
—W—	WATER LINE OVER 24"DIAMETER
—RW—	RECLAIMED WATER LINE & VALVE
—RW—	RECLAIMED WATER LINE OVER 24"DIAMETER
—TS—	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH
0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

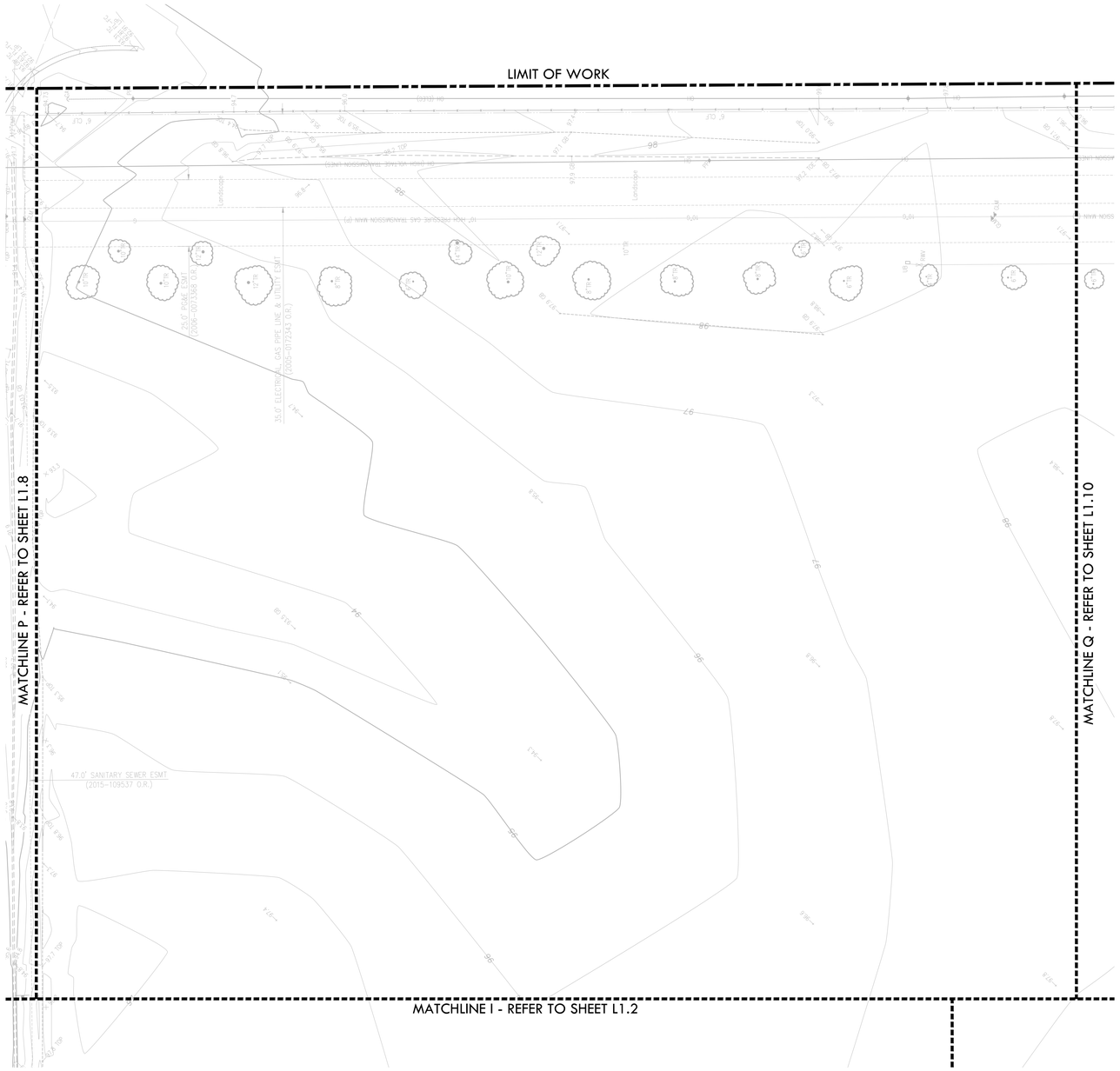
SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

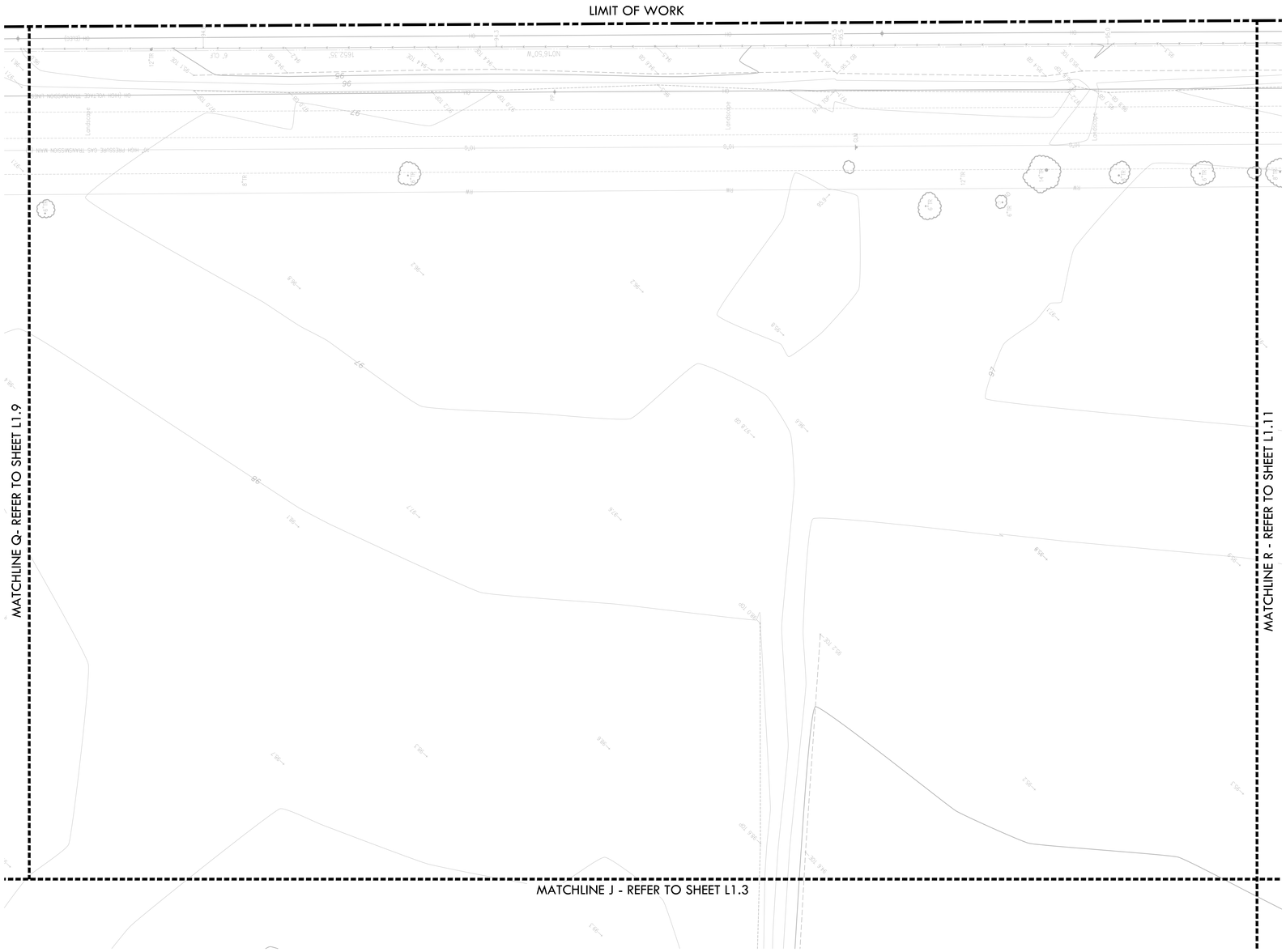
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.8	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE WHATSOEVER OTHER THAN THE SPECIFIED PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville & Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 06-24-22 PLOTTED BY: station46


LIMIT OF WORK
MATCHLINE P - REFER TO SHEET L1.8
MATCHLINE Q - REFER TO SHEET L1.10
MATCHLINE I - REFER TO SHEET L1.2
25.0' POLE ESMT (2005-0073368 O.R.)
35.0' ELECTRICAL, GAS PIPE LINE & UTILITY ESMT (2005-0172343 O.R.)
47.0' SANITARY SEWER ESMT (2015-109537 O.R.)
10' HIGH PRESSURE GAS TRANSMISSION MAIN (±)
Landscape
Landscape
96
97
98
99
100
101
96
97
98
99
100
101
96
97
98
99
100
101



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

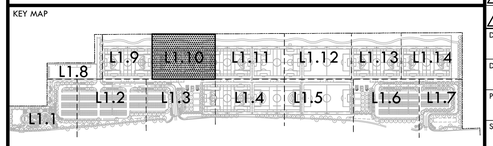
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

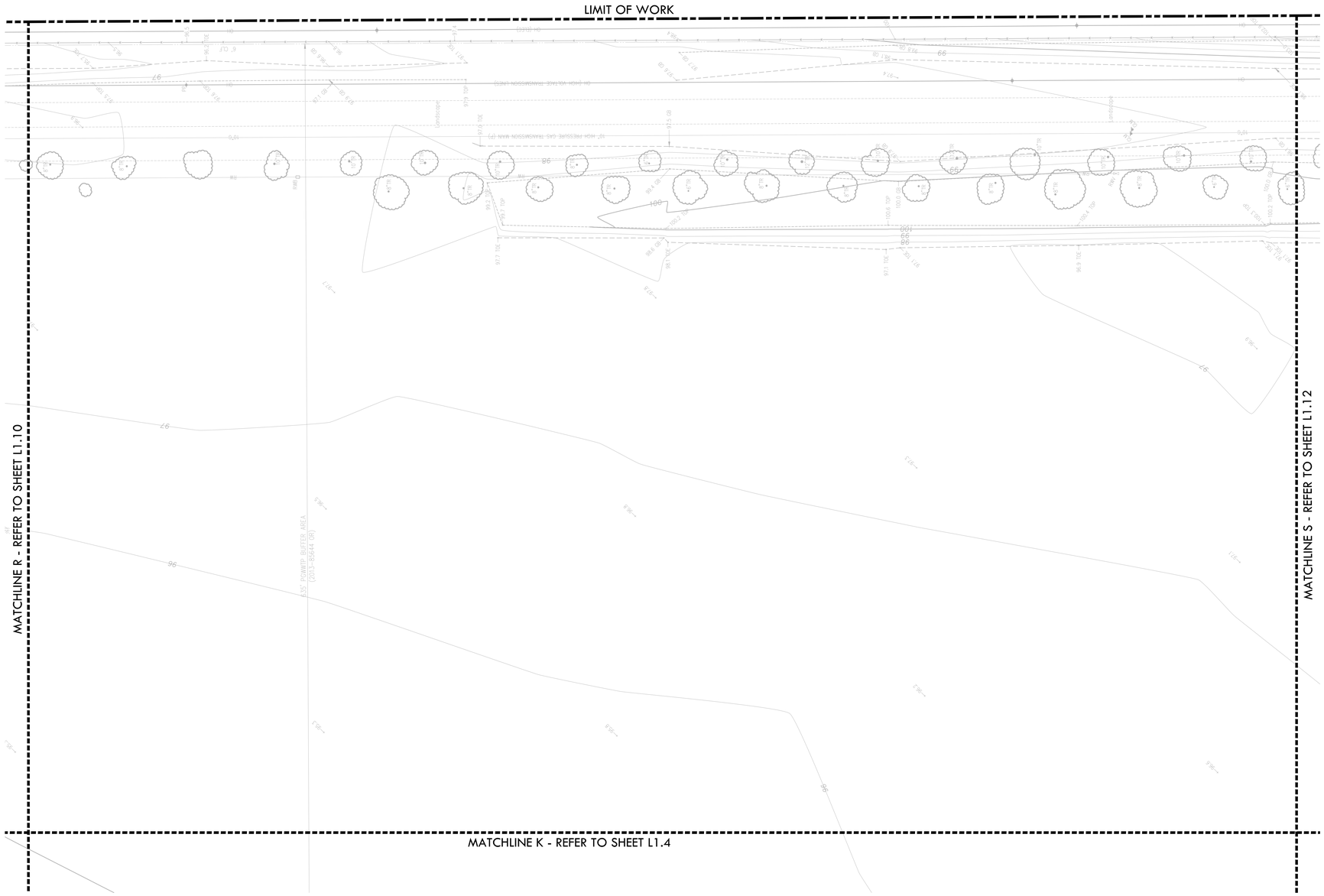
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.10	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 2000 FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROOK BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS OF PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

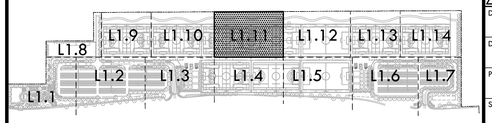
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

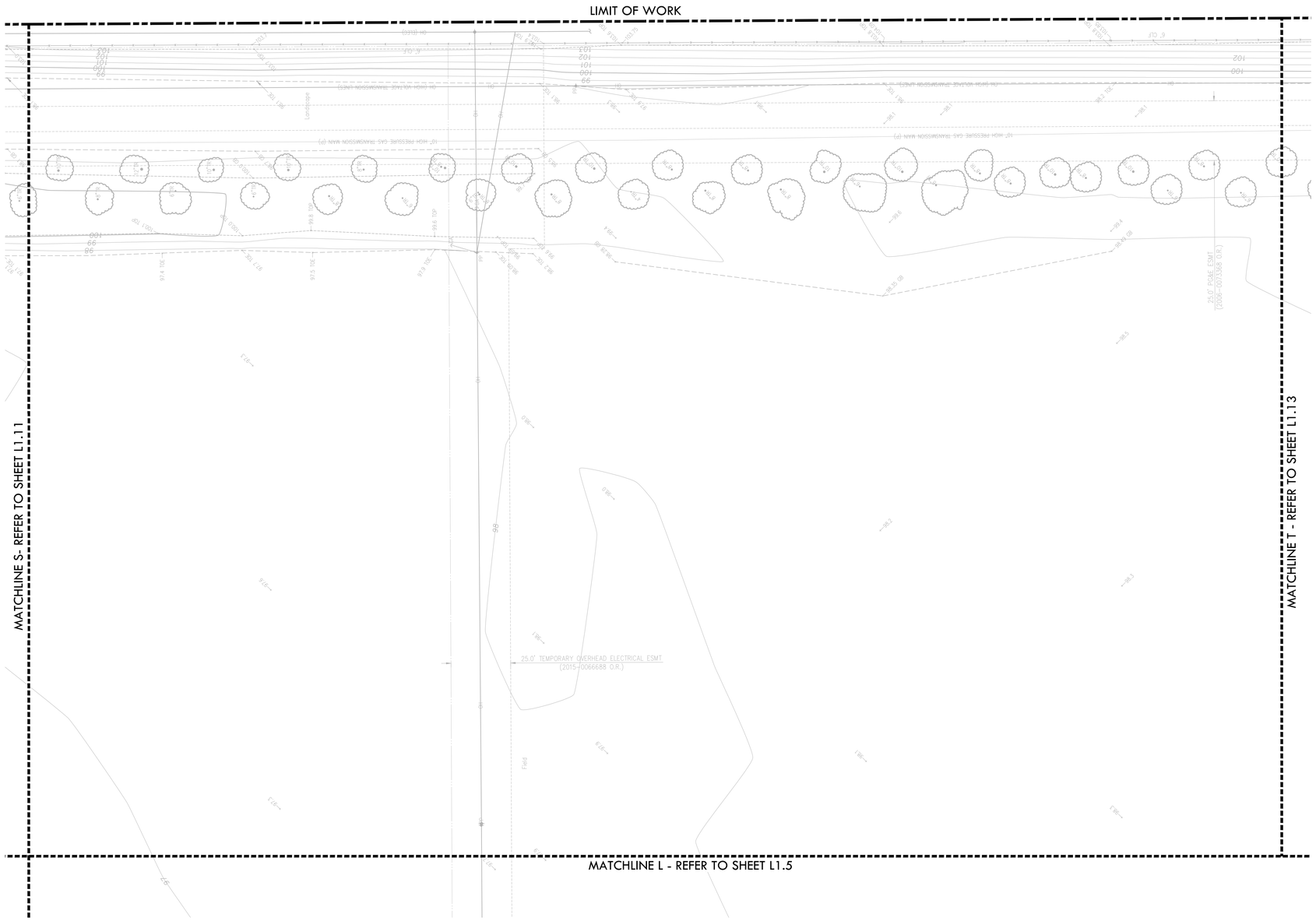
PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.11	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE WHATSOEVER, OTHER THAN FOR THE SPECIFIED PROJECT, WITHOUT THE WRITTEN CONSENT OF VERDE DESIGN, INC.



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

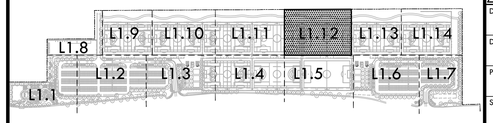
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH
0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

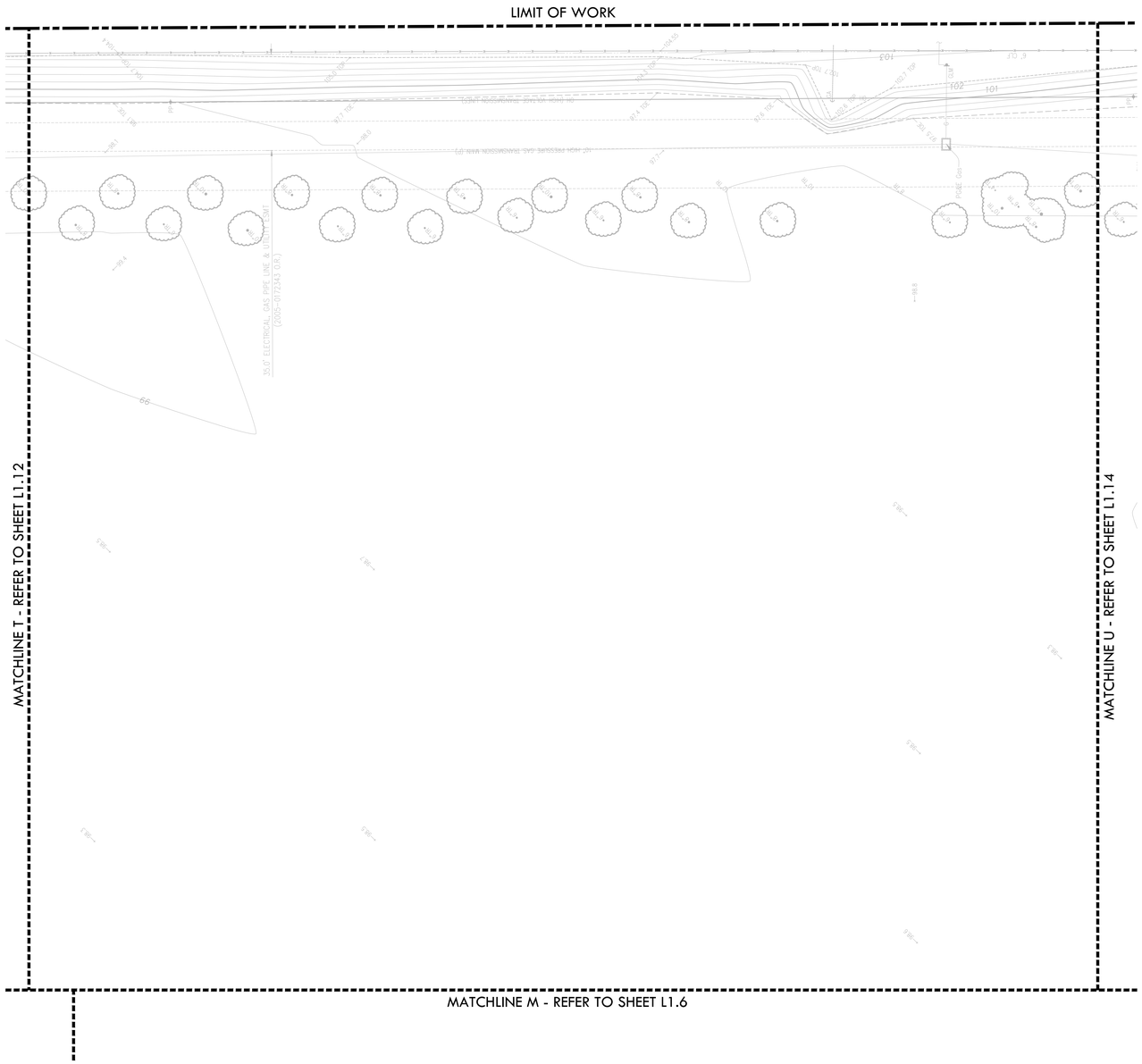
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.12	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT WRITTEN CONSENT.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville & Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 06-24-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

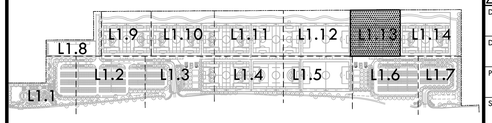
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

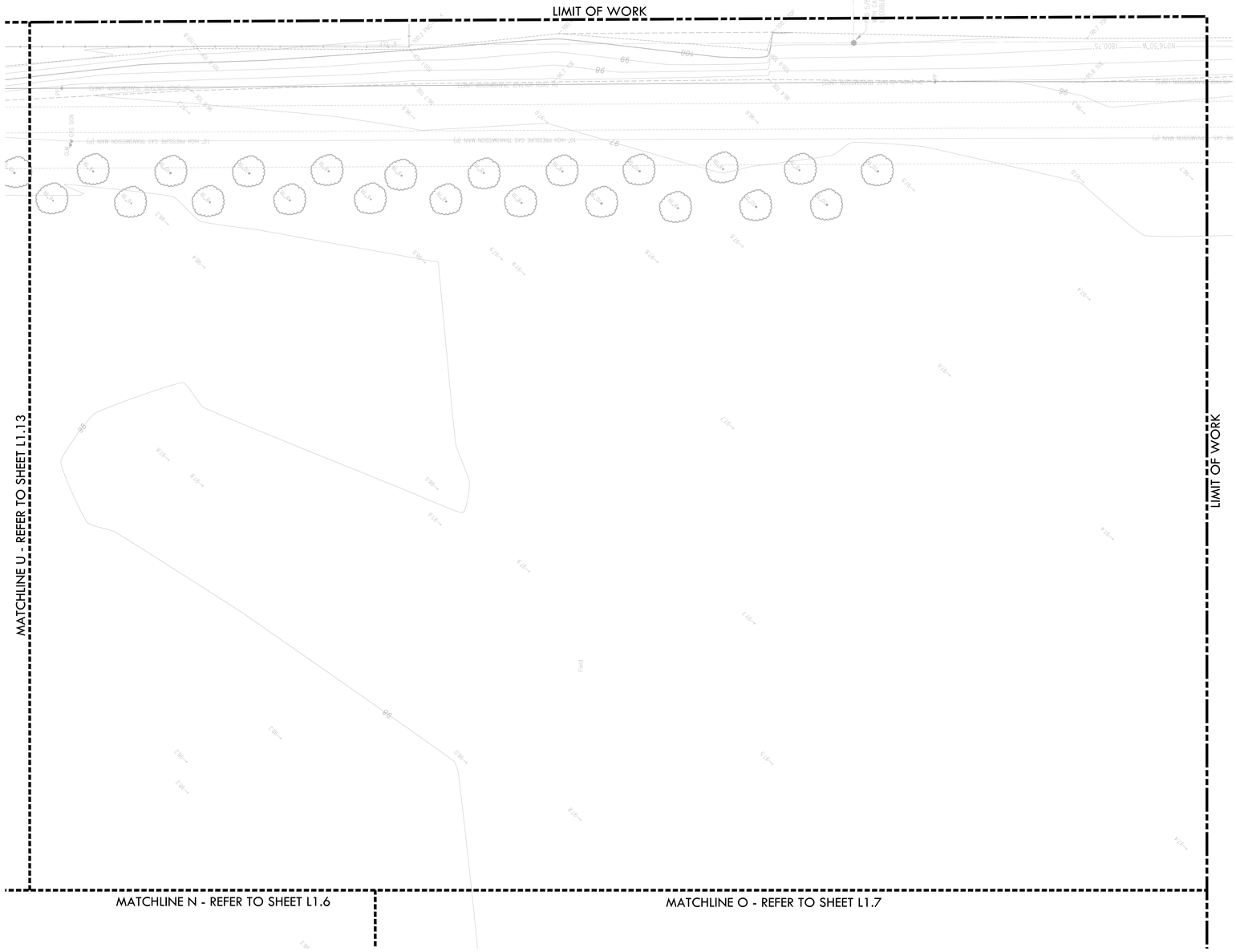
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.13	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT THE WRITTEN AGREEMENT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EXISTING CONDITIONS NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR PLACER COUNTY, CALIFORNIA, MAP NUMBER 06061C0920H FOR COMMUNITY NUMBER 060243 (CITY OF ROSEVILLE), WITH AN EFFECTIVE DATE OF NOVEMBER 2, 2018, AS BEING LOCATED IN FLOOD ZONE "X"(NO SCREEN).

   ACCORDING TO FEMA THE DEFINITION OF ZONE "X"(NO SCREEN) IS:
   AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

5. BENCHMARK: CITY BM 129
   3-1/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE NORTHEAST ANGLE POINT OF THE CON/SPAN ON THE EAST SIDE OF WESTBROOK BLVD. BEING APPROX. 200(FEET NORTH OF THE INTERSECTION WITH PLEASANT GROVE BLVD.
   ELEVATION = 96.120 (NAVD88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 05° 12' 11" WEST TAKEN ON THE MONUMENT LINE OF WESTBROC BOULEVARD AS SHOWN ON THAT CERTAIN SUBDIVISION MAP, NUMBER 000176 FILED FOR RECORD ON AUGUST 16, 2013, IN BOOK CC OF MAPS AT PAGE 53, OFFICIAL RECORDS O PLACER COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

7. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

8. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21651. DATE OF PHOTOGRAPHY AUGUST 2, 2021.

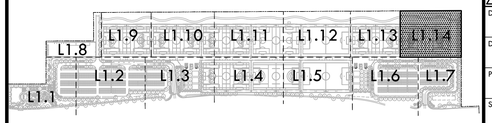
EXISTING CONDITIONS LEGEND

CTV	CABLE TELEVISION
	CONCRETE CURB
	CONCRETE CURB & GUTTER
100	MAJOR CONTOUR LINE
101	MINOR CONTOUR LINE
	EDGE OF PAVEMENT
E	ELECTRIC LINE
	FENCE LINE
FO	FIBER OPTICS LINE
FS	FIRE SERVICE LINE & VALVE
G GM	GAS LINE-VALVE & METER
JT	JOINT TRENCH LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
OH	OVERHEAD POWER LINE
	PROPERTY LINE
SS	SANITARY SEWER LINE-MANHOLE & CLEANOUT
SS	SANITARY SEWER LINE OVER 24"DIAMETER
	SIDEWALK
100.00	SPOT ELEVATION
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE-MANHOLE & CATCH BASIN
SD	STORM DRAIN LINE OVER 24"DIAMETER
SL	STREET LIGHT CONDUIT LINE
T	TELEPHONE LINE
CTV	CABLE TELEVISION LINE
	TREE/BRUSH CANOPY
	TOP OF BANK
	TOE OF BANK
W	WATER LINE & VALVE
W	WATER LINE OVER 24"DIAMETER
RW	RECLAIMED WATER LINE & VALVE
RW	RECLAIMED WATER LINE OVER 24"DIAMETER
TS	TRAFFIC SIGNAL
A	ANODE
AD	AREA DRAIN
	BOLLARD (UNLESS OTHERWISE NOTED)
	ELECTROLIER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POWER POLE/JOINT POLE
T	TRANSFORMER
	TRAFFIC SIGN
	WATER VALVE
12"TR	TREE
	UTILITY BOX
	UTILITY LINE MARKER

EXISTING CONDITIONS ABBREVIATIONS

AD	AREA DRAIN	R/W	RIGHT OF WAY
BLRD	BOLLARD	RWB	RECYCLED WATER BOX
BW	BACK OF WALK	RE	RIM ELEVATION
C	CONCRETE	RWB	RECYCLED WATER BOX
CB	CATCH BASIN	RWMH	RECYCLED WATER MANHOLE
CLF	CHAIN LINK FENCE	RWV	RECYCLED WATER VALVE
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CO	CLEANOUT	SDMH	STORM DRAIN MANHOLE
DI	DRAIN INLET	SSCO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SLB	STREET LIGHT BOX
EW	EDGE OF WALK		TELEPHONE
EV	ELECTRIC VAULT	TC	TOP OF CURB
FC	FACE OF CURB	TB	TELEPHONE BOX
FL	FLOWLINE	TOE	TOE OF BANK
GB	GRADE BREAK	TOP	TOP OF BANK
GLM	GAS LINE MARKER	TMH	TELEPHONE MANHOLE
L/S	LANDSCAPE	TYP.	TYPICAL
MON	MONUMENT	UB	UTILITY BOX
P	PAVEMENT	VG	VALLEY GUTTER
PP	POWER POLE	VCP	VITRIFIED CLAY PIPE
(P)	PER PLAN	WB	WATER BOX
PVC	POLYVINYL CHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE	WR	WATER RISER

KEY MAP



PREPARED BY ME OR UNDER MY SUPERVISION
CHRISTOPHER S. MARTIN, P.L.S. 9179
CMARTIN@KIERWRIGHT.COM

NORTH

0' 10' 20' 40' 80'

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

LICENSED LAND SURVEYOR
CHRISTOPHER S. MARTIN
No. 9179
STATE OF CALIFORNIA
09-24-2021
DATE

CONSULTANT

KIER+WRIGHT
Phone: (925) 245-8788
www.kierwright.com
2850 Collier Canyon Road
Livermore, CA 94551

SHEET TITLE
EXISTING CONDITIONS PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

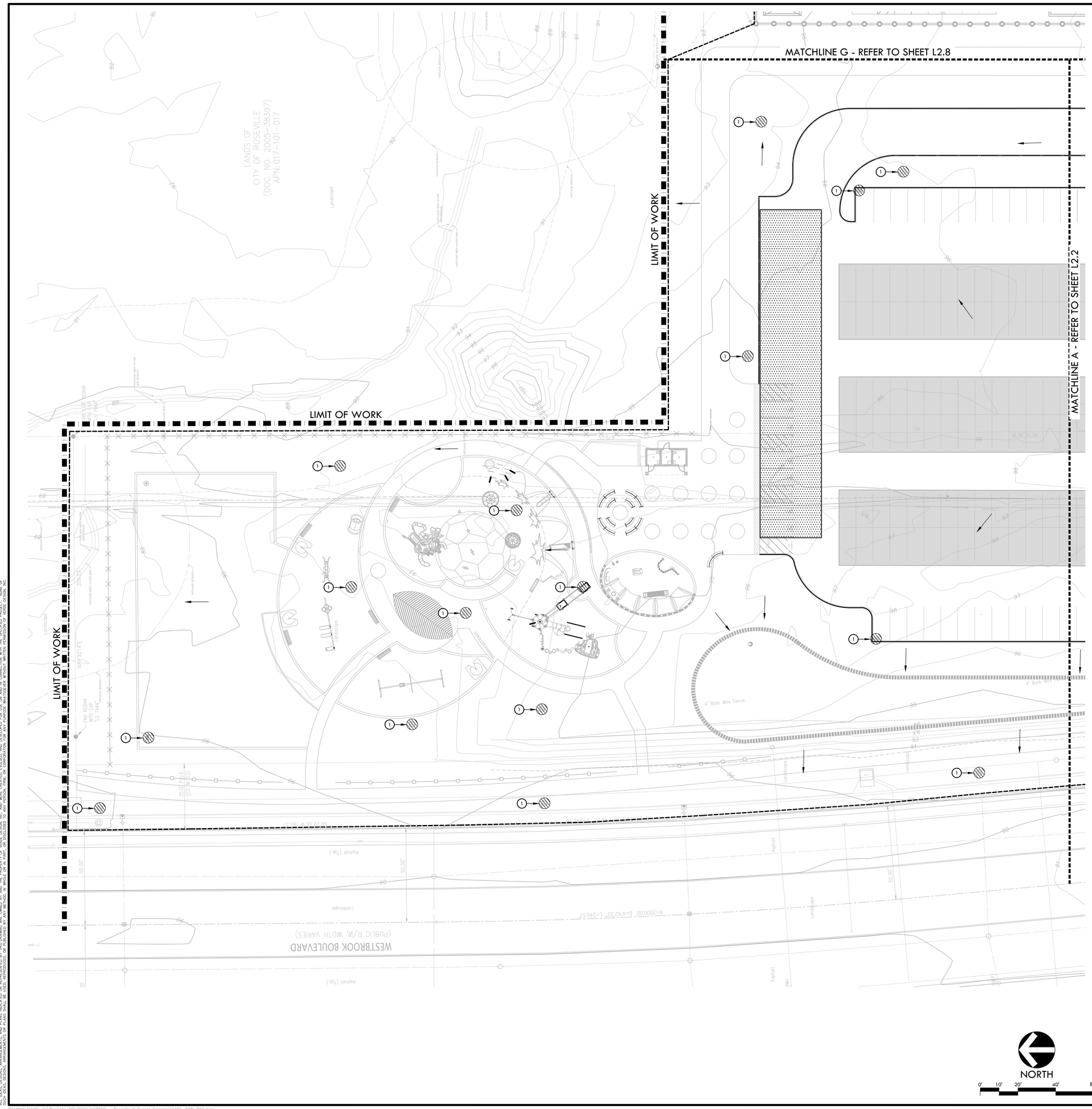
NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L1.14	

EXISTING CONDITIONS PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS WERE CREATED, EVOLVED OR DEVELOPED FOR USE ON OR IN CONNECTION WITH ANY OTHER PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE WHATSOEVER WITHOUT THE PRIOR WRITTEN PERMISSION OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_EXC-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: stotlan46

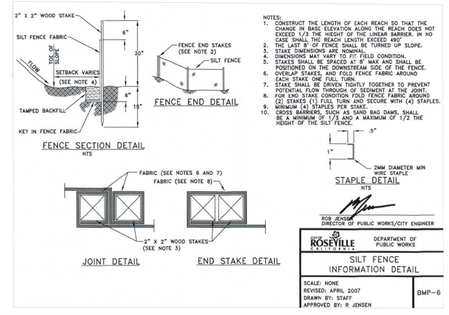


EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

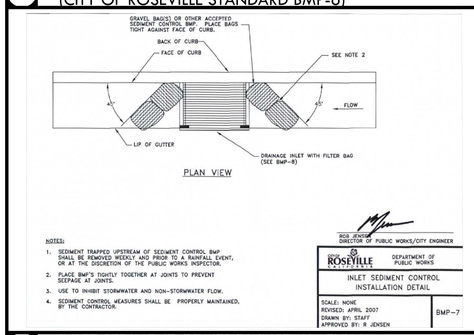
EROSION AND SEDIMENT CONTROL LEGEND

SYM.	DESCRIPTION	DET REF
1	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER SILT FENCE	B,C 12.1
	LIMIT OF WORK	
	FILTER ROLL BARRIER	A 12.2
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	C 12.2
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	B 12.2
	DIRECTION OF SURFACE FLOW	



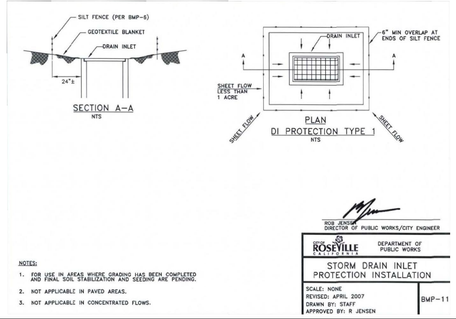
NOTES:
1. CONSTRUCT THE LENGTH OF EACH REACH SO THAT THE CHANGE IN BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/3 THE HEIGHT OF THE LINEAR BARRIER. IN NO CASE SHALL THE REACH LENGTH EXCEED 490'.
2. THE LAST 8' OF FENCE SHALL BE TURNED UP SLOPE.
3. STAKE DIMENSIONS ARE NOMINAL.
4. SETBACK VARIES DEPENDING ON FIELD CONDITION.
5. STAKES SHALL BE SPACED AT 8' MAX AND SHALL BE POSITIONED ON THE DOWNSTREAM SIDE OF THE FENCE.
6. OVERLAP STAKES, AND FOLD FENCE FABRIC AROUND EACH STAKE ONE FULL TURN.
7. STAKE SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT SEDIMENT FLOW THROUGH THE JOINT. SEE JOINT DETAIL.
8. FOR END STAKE CONDITION FOLD FENCE FABRIC AROUND (2) STAKES (1) FULL TURN AND SECURE WITH (4) STAPLES.
9. MINIMUM (4) STAPLES PER STAKE.
10. CROSS BARRIERS, SUCH AS SAND BAG DAMS, SHALL BE PROPORTIONED TO A MAXIMUM OF 1/2 THE HEIGHT OF THE SILT FENCE.

A SILT FENCE INFORMATION (CITY OF ROSEVILLE STANDARD BMP-6) NTS



NOTES:
1. SEDIMENT TRAPPED UPSTREAM OF SEDIMENT CONTROL BMP SHALL BE REMOVED WEEKLY AND PRIOR TO A RAINFALL EVENT, OR AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
2. PLACE BMP'S TIGHTLY TOGETHER AT JOINTS TO PREVENT SEEPAGE AT JOINTS.
3. USE TO INHIBIT STORMWATER AND NON-STORMWATER FLOW.
4. SEDIMENT CONTROL MEASURES SHALL BE PROPERLY MAINTAINED, BY THE CONTRACTOR.

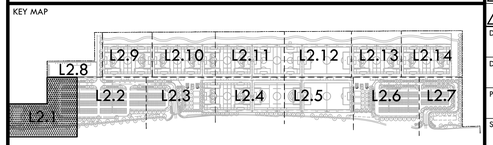
B INLET SEDIMENT CONTROL INSTALLATION (CITY OF ROSEVILLE STANDARD BMP-7) NTS



NOTES:
1. FOR USE IN AREAS WHERE GRADING HAS BEEN COMPLETED AND FINAL SOIL STABILIZATION AND SEEDING ARE PENDING.
2. NOT APPLICABLE IN PAVED AREAS.
3. NOT APPLICABLE IN CONCENTRATED FLOWS.

C STORM DRAIN INLET PROTECTION INSTALLATION (CITY OF ROSEVILLE STANDARD BMP-11) NTS

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

REGISTERED LANDSCAPE ARCHITECT
MARK S. BAGINSKI
No. 4089
Signature
EXPIRATION DATE: JULY 2023
STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

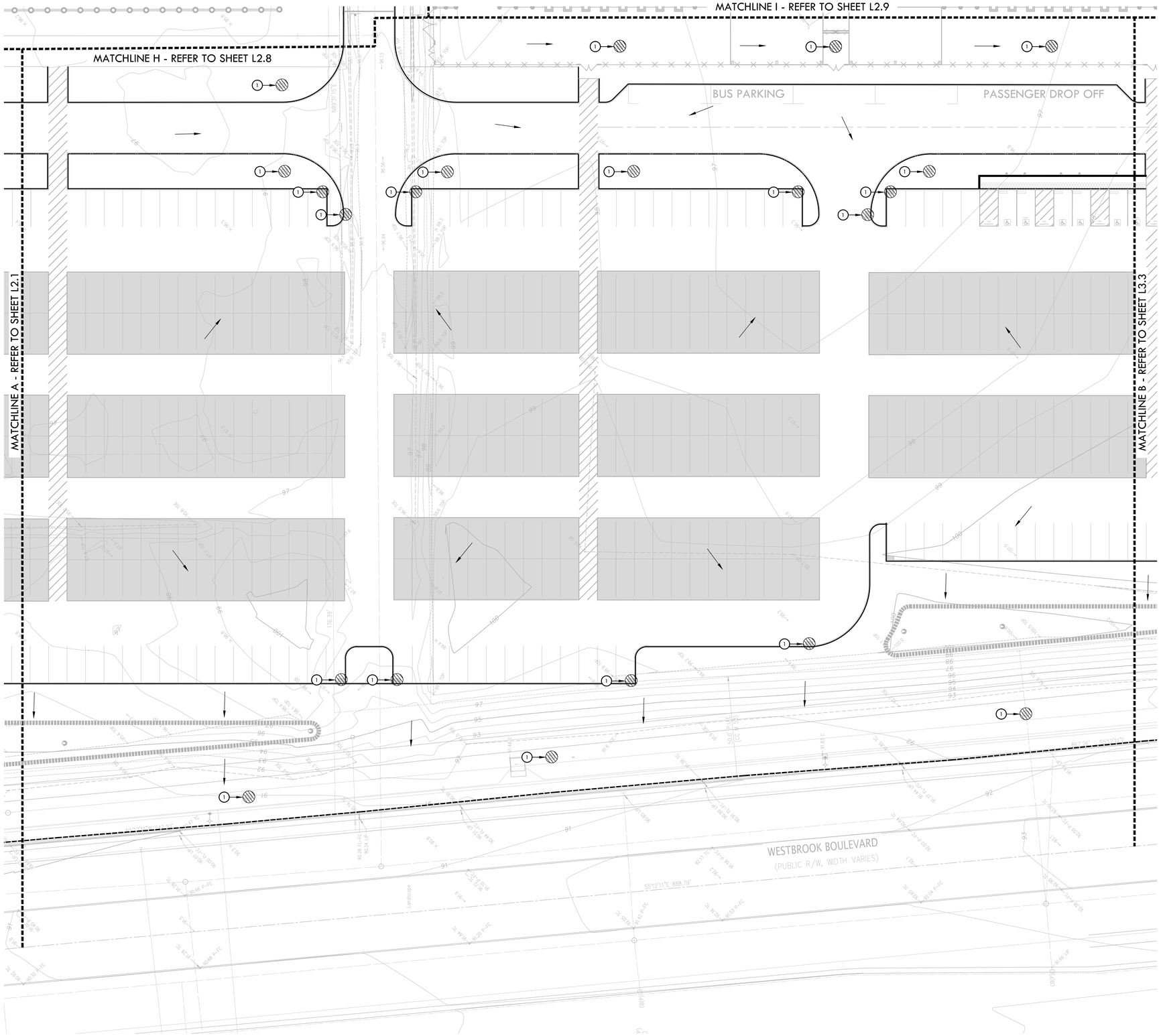
SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L2.1	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FQ\2021\2103800 - Roseville & Soccer Complex\CAD_SMP-RSC.dwg
PLOT DATE: 06-24-22 PLOTTED BY: station46

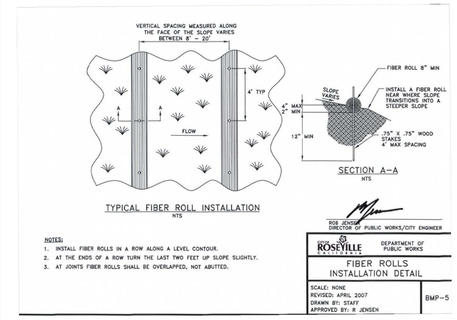


EROSION AND SEDIMENT CONTROL NOTES

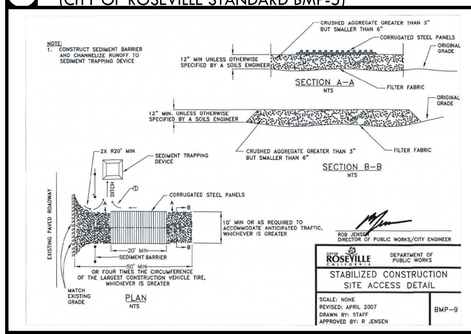
1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

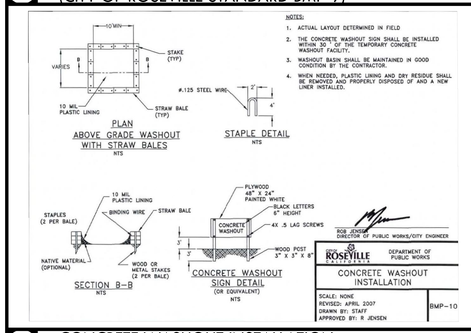
SYM.	DESCRIPTION	DET REF
1	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER SILT FENCE	B,C 12.1
	LIMIT OF WORK	
	FILTER ROLL BARRIER	A 12.2
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	C 12.2
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	B 12.2
	DIRECTION OF SURFACE FLOW	



A FIBER ROLLS INSTALLATION (CITY OF ROSEVILLE STANDARD BMP-5) NTS

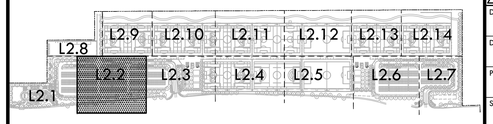


B STABILIZED CONSTRUCTION SITE ACCESS (CITY OF ROSEVILLE STANDARD BMP-9) NTS



C CONCRETE WASHOUT INSTALLATION (CITY OF ROSEVILLE STANDARD BMP-10) NTS

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6654
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

REGISTERED LANDSCAPE ARCHITECT
MARK S. BAGINSKI
No. 4089
Signature
EXPIRATION DATE: JULY 2023
STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN

PROJECT NAME

ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS

2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

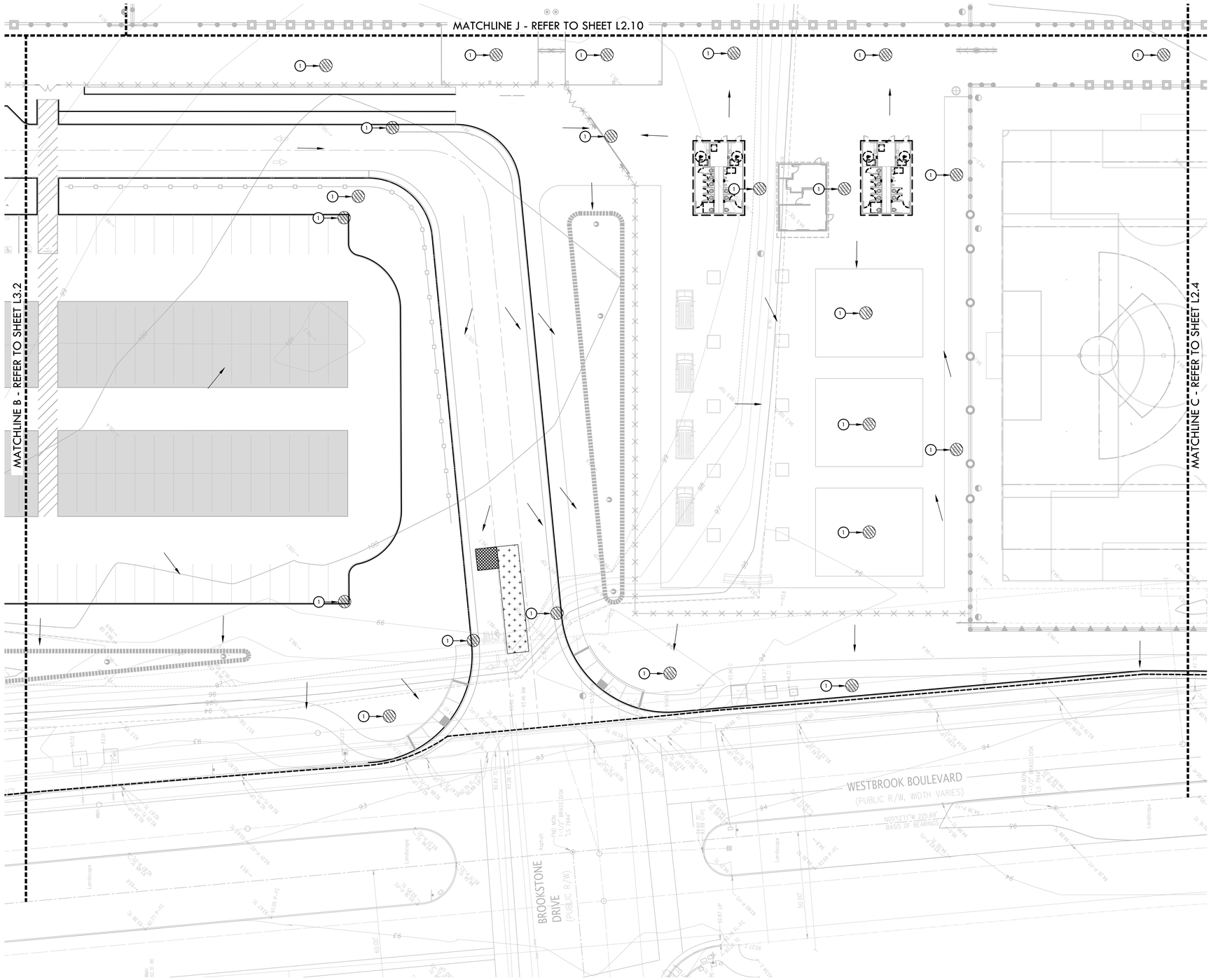
SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L2.2	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC. WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD__SWP-RSC.dwg
PLOT DATE: 04-29-22 PLOTTED BY: station46



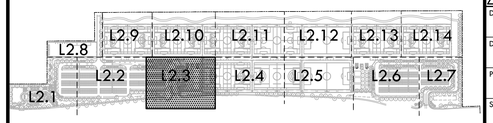
EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

SYM.	DESCRIPTION	DET REF
1	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER SILT FENCE	B,C 12.1
	LIMIT OF WORK	
	FILTER ROLL BARRIER	A 12.2
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	C 12.2
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	B 12.2
	DIRECTION OF SURFACE FLOW	

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

CONSULTANT

SHEET TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

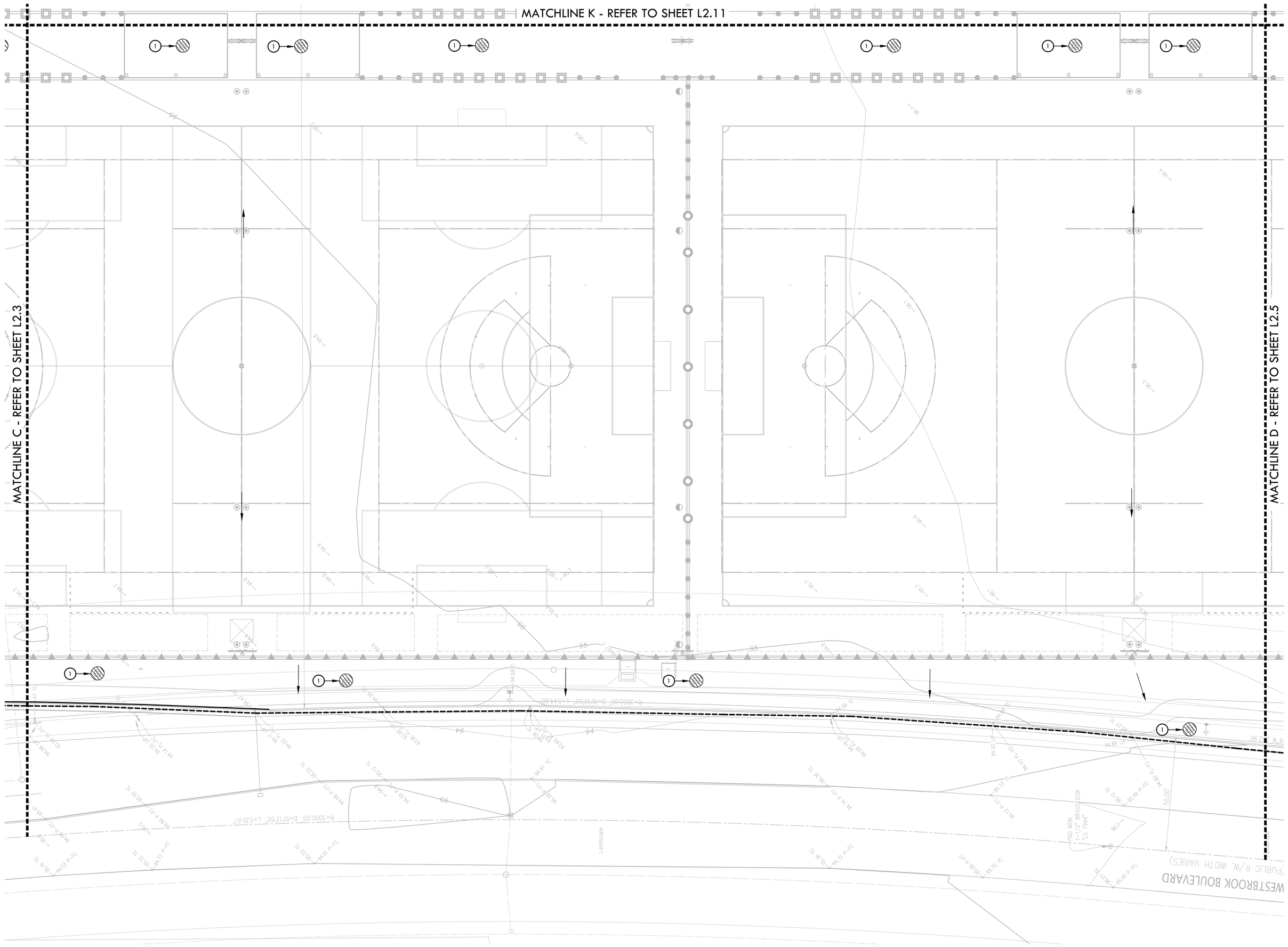
SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 04/29/2022	SCALE 1"=20'-0"
PROJ. NO. 2103800	
SHEET NO. L2.3	

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, EXCEPT FOR THE SPECIFIED PROJECT, WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC.

DRAWING NAME: C:\Users\STATIO~2\AppData\Local\Temp\AcPublish_32204_SWP-PSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station46



EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

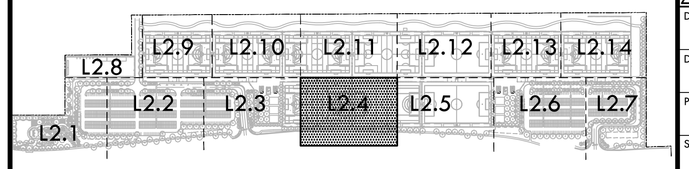
EROSION AND SEDIMENT CONTROL LEGEND

SYM.	DESCRIPTION	DET REF
1	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER SILT FENCE	B,C 12.1
	LIMIT OF WORK	
	FILTER ROLL BARRIER	A 12.2
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	C 12.2
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	B 12.2
	DIRECTION OF SURFACE FLOW	

NORTH

0' 10' 20' 40' 80'

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

CONSULTANT

SHEET TITLE
ERIOSION AND SEDIMENT CONTROL PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

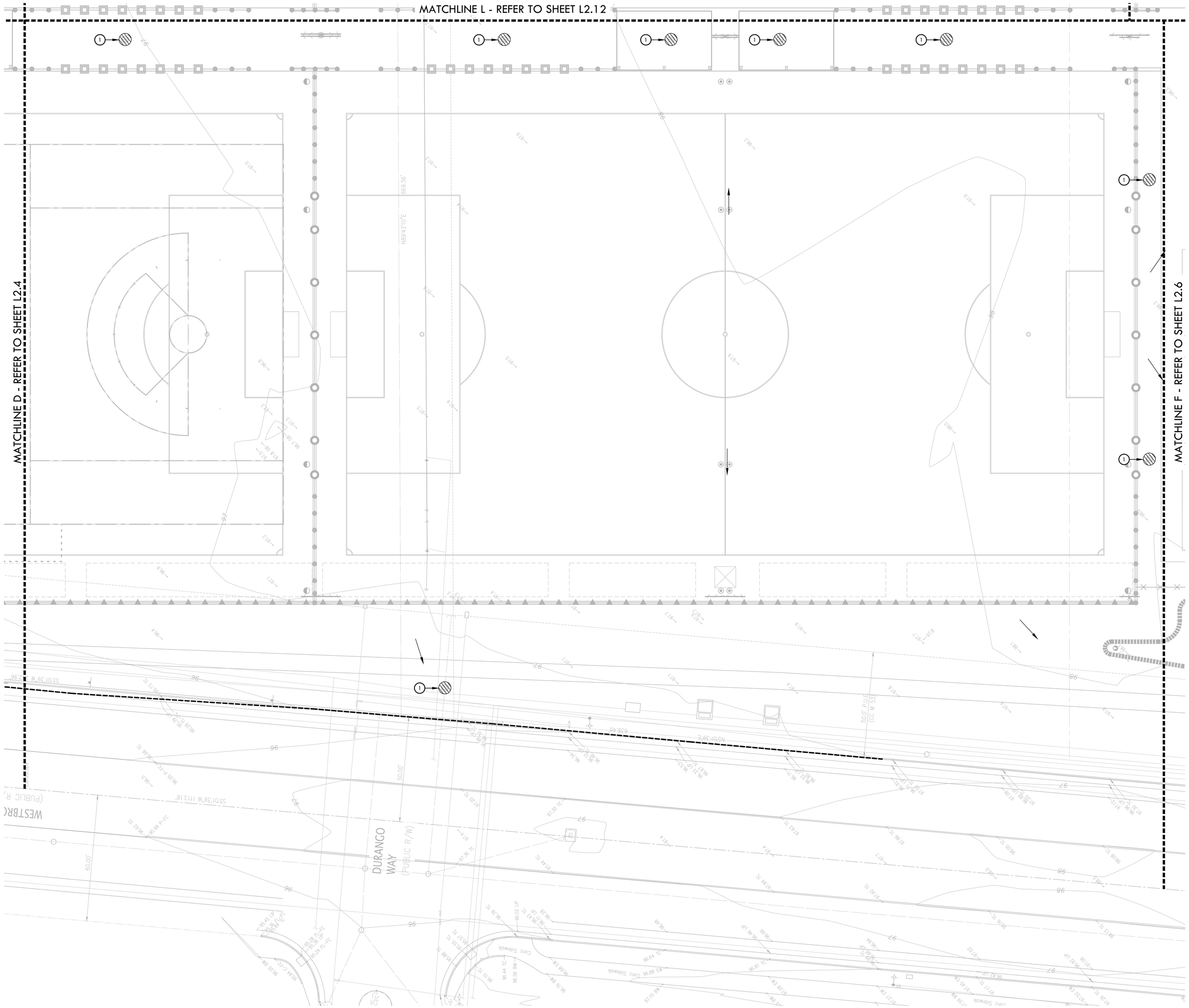
SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY
CHECKED BY
DATE ISSUED 04/29/2022
SCALE 1"=20'-0"
PROJ. NO. 2103800
SHEET NO. L2.4

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON ON ANY OTHER PROJECT EVEN IF SUCH PROJECT IS ALSO SPONSORED BY THE PROJECT OWNER.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_SMP-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station49



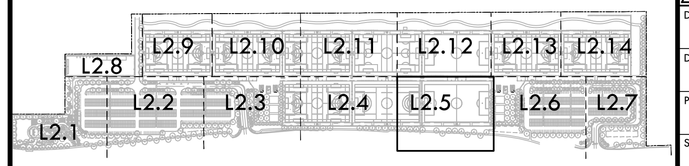
EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

SYM.	DESCRIPTION	DET REF
1	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER SILT FENCE	B,C 12.1
	LIMIT OF WORK	
	FILTER ROLL BARRIER	A 12.2
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	C 12.2
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	B 12.2
	DIRECTION OF SURFACE FLOW	

KEY MAP



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.415.6554
fax: 916.415.6525
www.VerdeDesigninc.com

STAMP

CONSULTANT

SHEET TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NAME
ROSEVILLE SOCCER COMPLEX

PROJECT ADDRESS
2600 WESTBROOK BLVD
ROSEVILLE, CA 95747

SUBMITTAL	DATE
30% SUBMITTAL	04/29/22

NO.	REVISIONS	DATE

DRAWN BY
CHECKED BY
DATE ISSUED 04/29/2022
SCALE 1"=20'-0"
PROJ. NO. 2103800
SHEET NO. L2.5

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND SHALL REMAIN THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS MAY BE USED BY ANY PERSON OR ENTITY FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIED PROJECT OF VERDE DESIGN, INC.

DRAWING NAME: Y:\Projects-FO\2021\2103800 - Roseville 6 Soccer Complex\CAD_SWP-RSC.dwg
PLOT DATE: 04-28-22 PLOTTED BY: station49