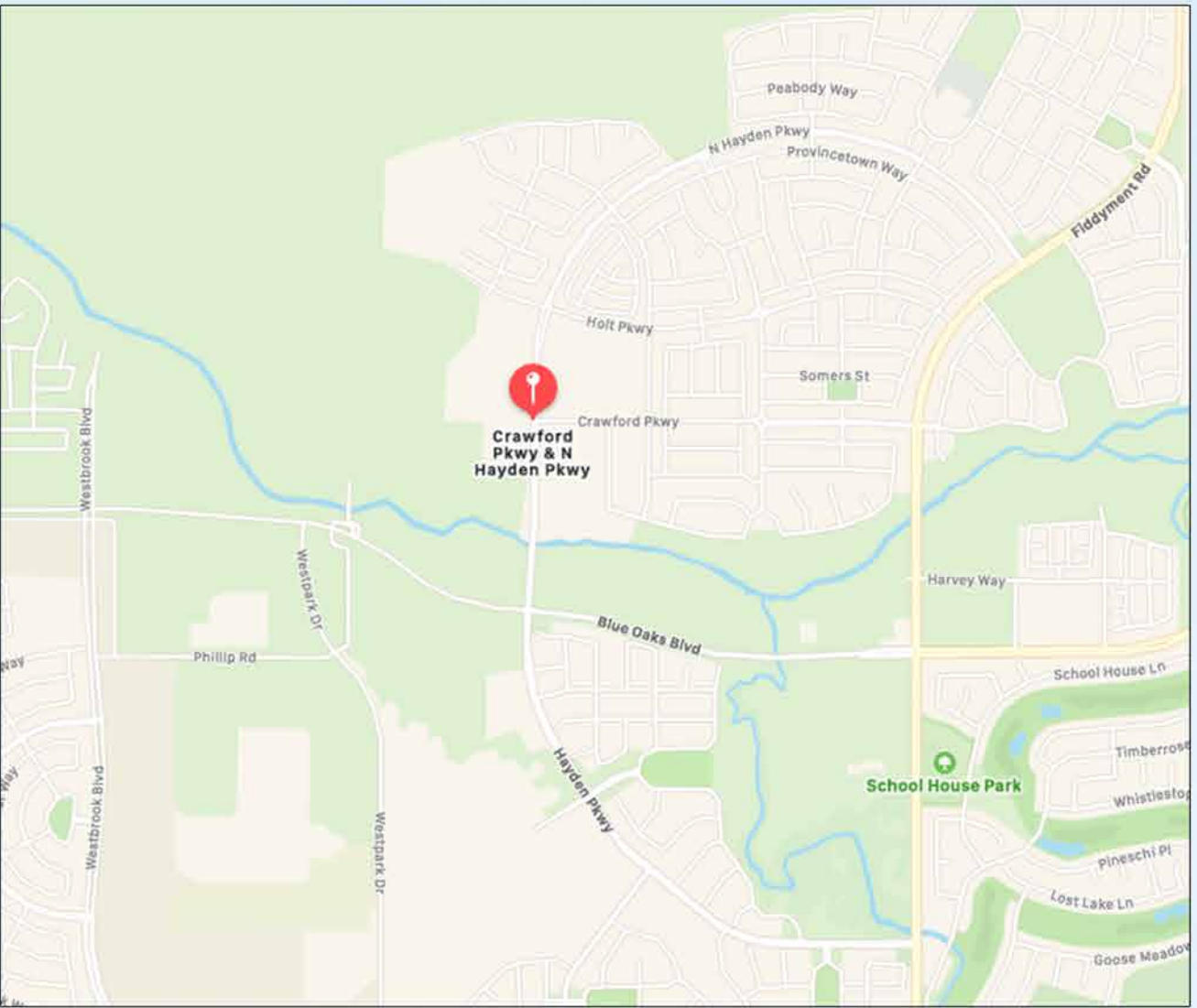


F-8A HDR

ROSEVILLE, CA

JULY 30, 2021

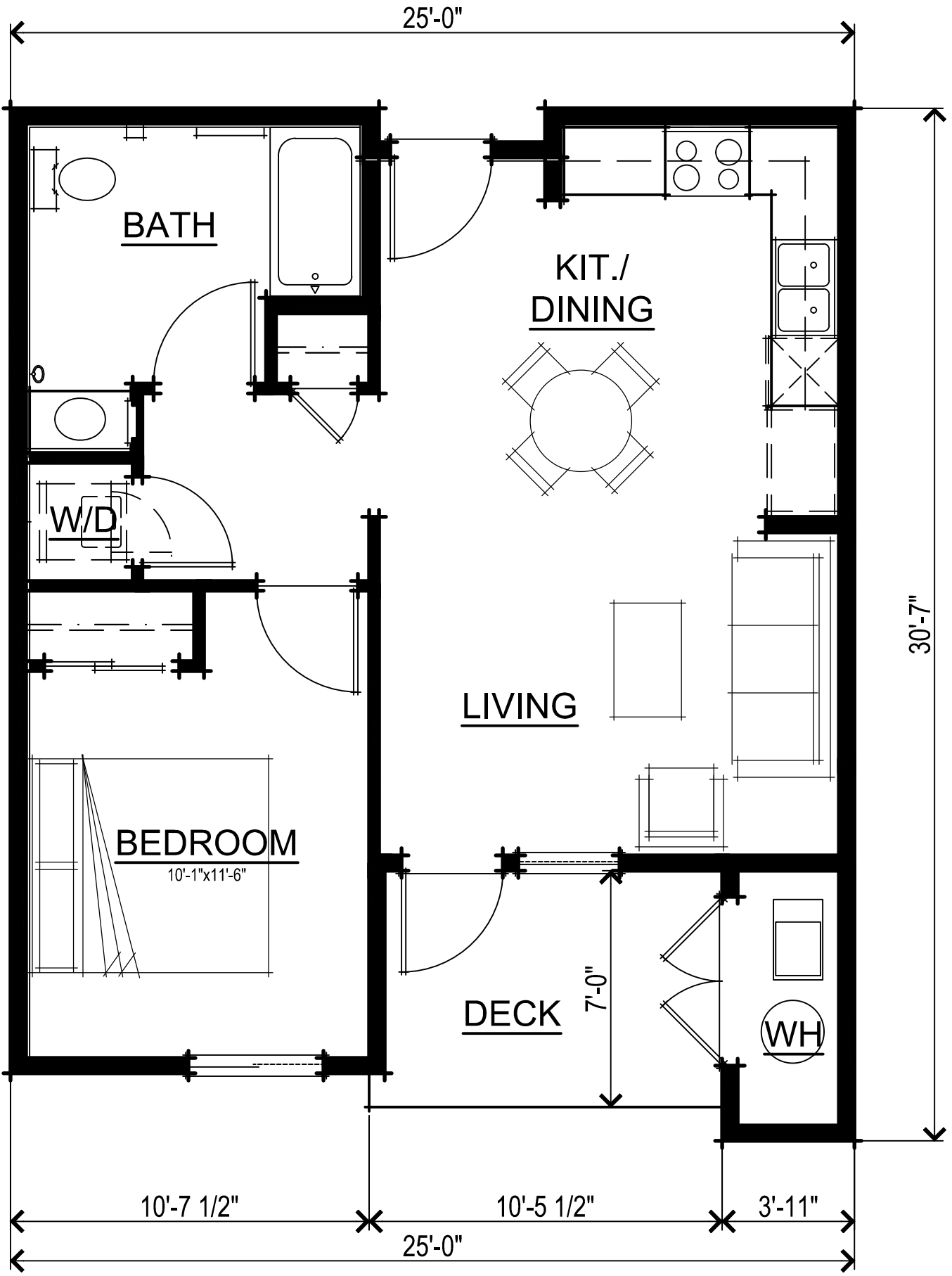


VICINITY MAP N.T.S.

SHEET INDEX

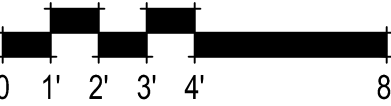
ARCHITECTURE	
COVER SHEET	TS
SITE PLAN	A0
UNIT 1 FLOOR PLAN	A1
UNIT 2 FLOOR PLAN	A2
UNIT 3 FLOOR PLAN	A3
BUILDING A -30 UNIT BUILDING	A4
BUILDING B -30 UNIT BUILDING	A5
CONCEPTUAL BUILDING 'A' ELEVATIONS	A6
CONCEPTUAL BUILDING 'B' ELEVATIONS	A7
BUILDING A ROOF PLAN & SECTION	A8
BUILDING B ROOF PLAN & SECTION	A9
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LANDSCAPE	
LANDSCAPE MASTER PLAN	L1





FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGE	
UNIT 1	626 SQ. FT.

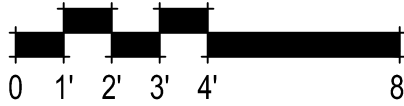


UNIT 1 FLOOR PLAN
A1



FLOOR PLAN - UNIT 2

UNIT 2 SQUARE FOOTAGE	
UNIT 2	950 SQ. FT.

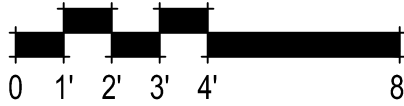


UNIT 2 FLOOR PLAN
A2



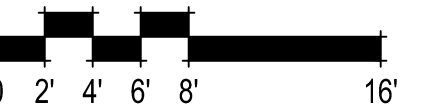
FLOOR PLAN - UNIT 3

UNIT 3 SQUARE FOOTAGE	
UNIT 3	1200 SQ. FT.



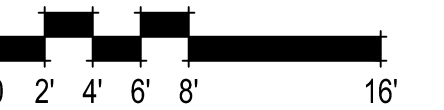


BUILDING A (30 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING B (30 UNIT BLDG) - TYPICAL FLOOR PLAN





UNIT 3
1,200 SF

LEFT ELEVATION
UNIT 3
1,200 SF



UNIT 2
950 SF

RIGHT ELEVATION
UNIT 2
950 SF



UNIT 3
1,200 SF

UNIT 1
626 SF

UNIT 1
626 SF

UNIT 1
6526 SF

FRONT ELEVATION
REAR ELEVATION SIMILAR
UNIT 2
950 SF



UNIT 3
1,200 SF

LEFT ELEVATION
UNIT 3
1,200 SF



UNIT 2
950 SF

RIGHT ELEVATION
UNIT 2
950 SF



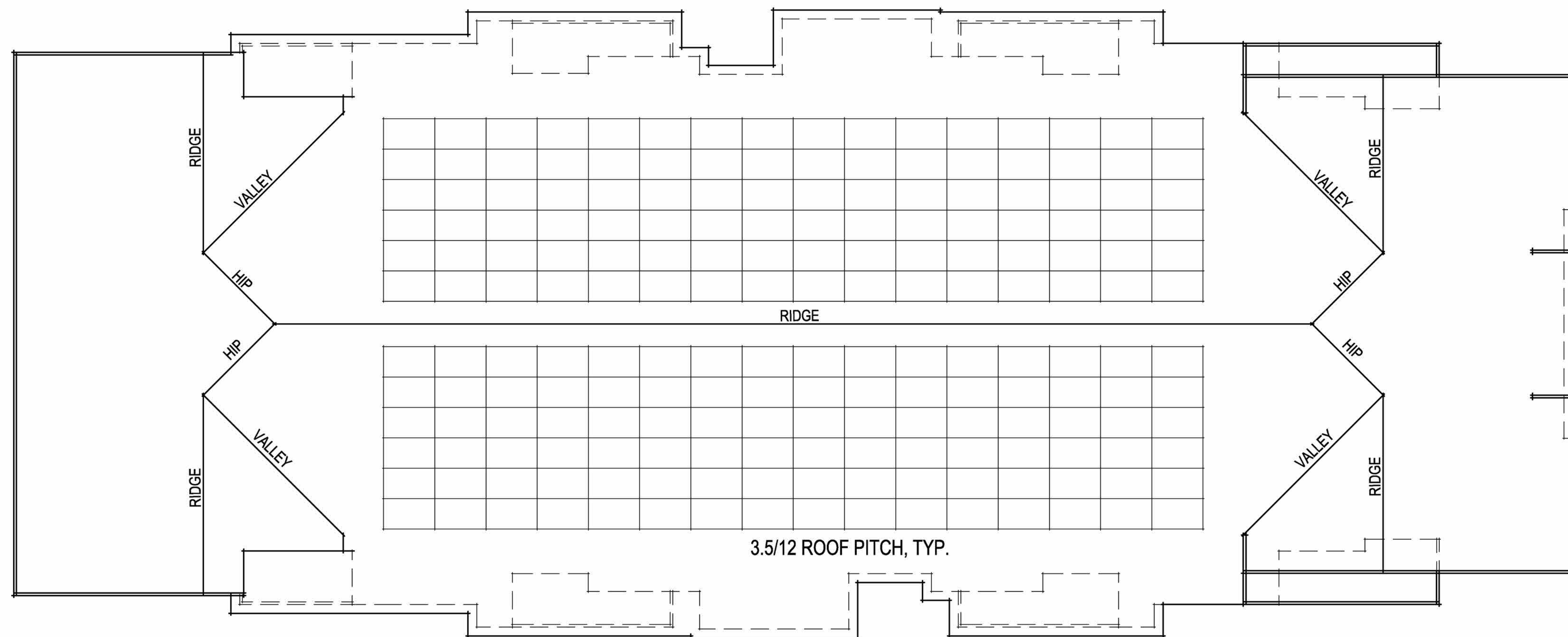
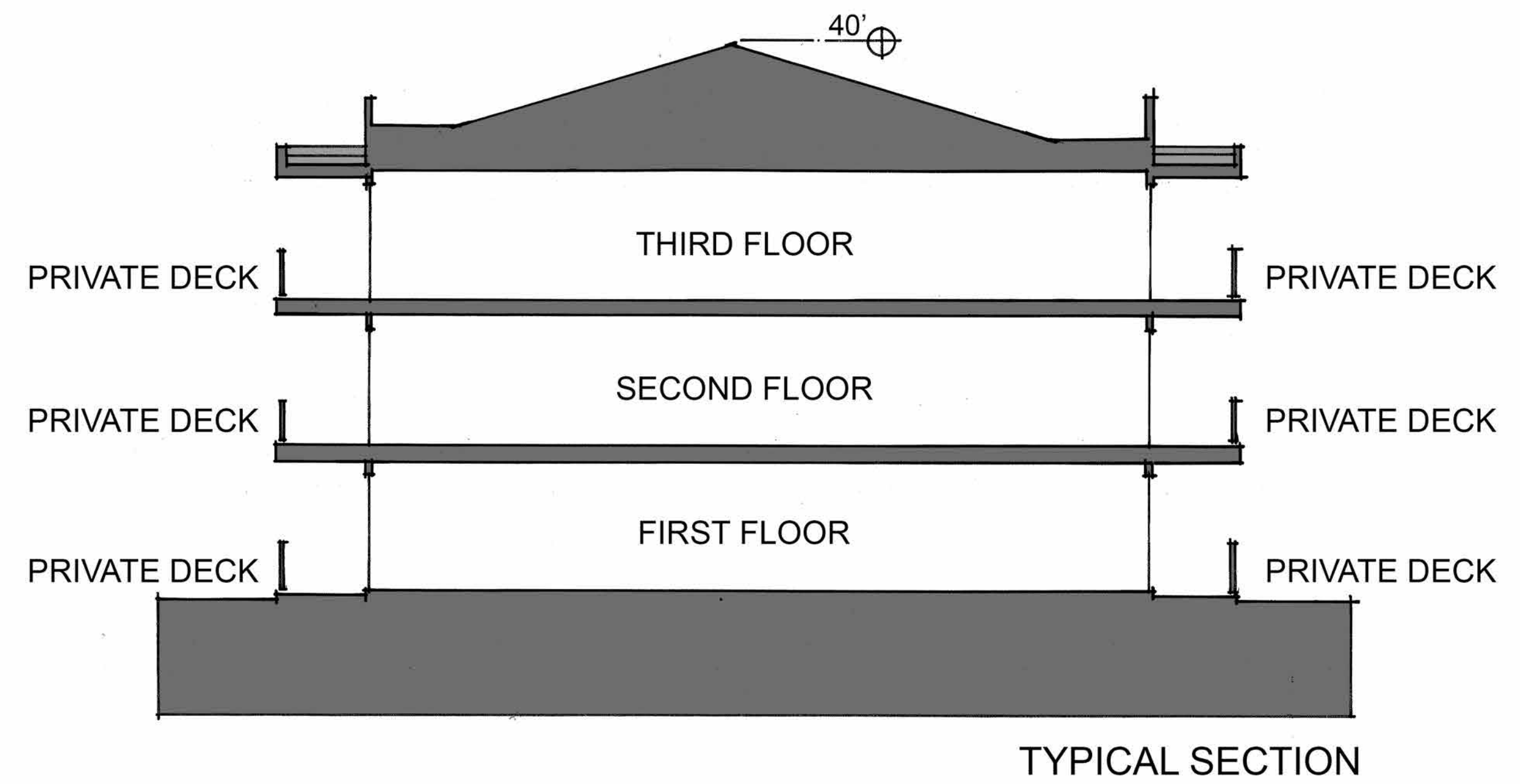
UNIT 3
1,200 SF

UNIT 1
626 SF

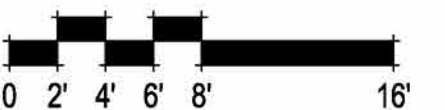
UNIT 1
626 SF

UNIT 2
950 SF

FRONT ELEVATION
REAR ELEVATION SIMILAR
UNIT 2
950 SF



ROOF PLAN



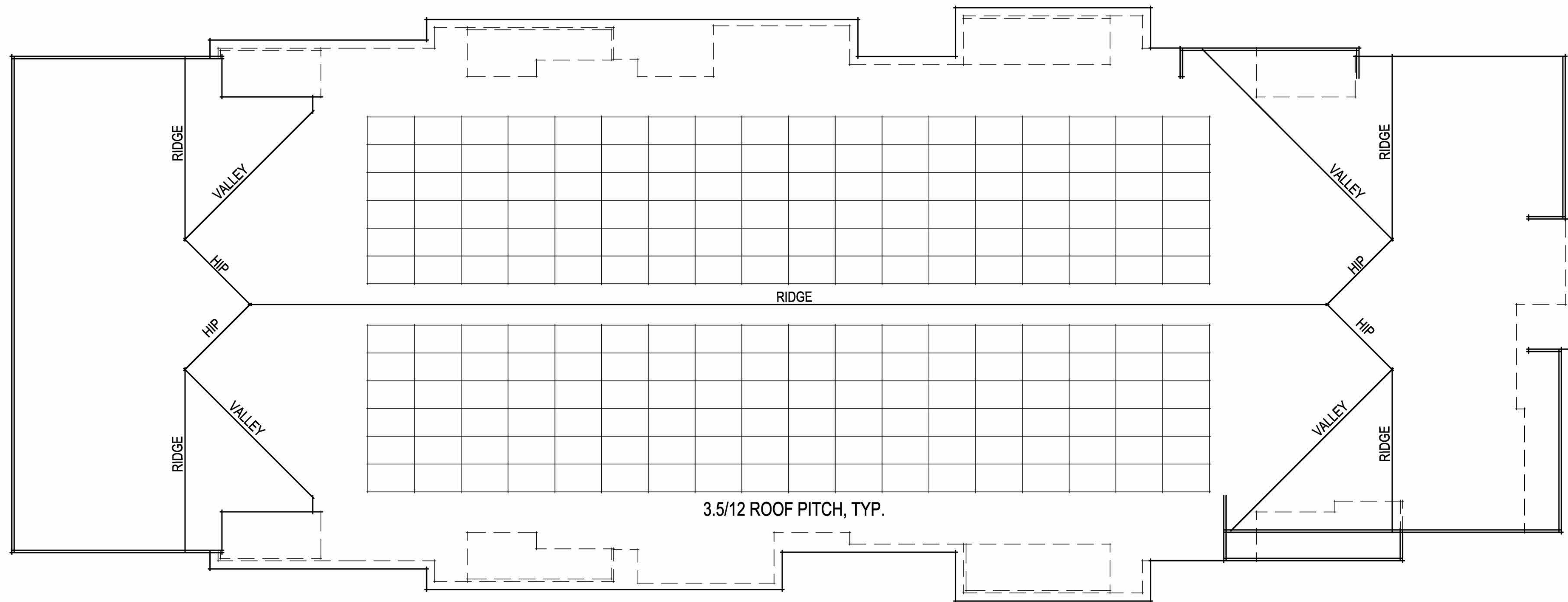
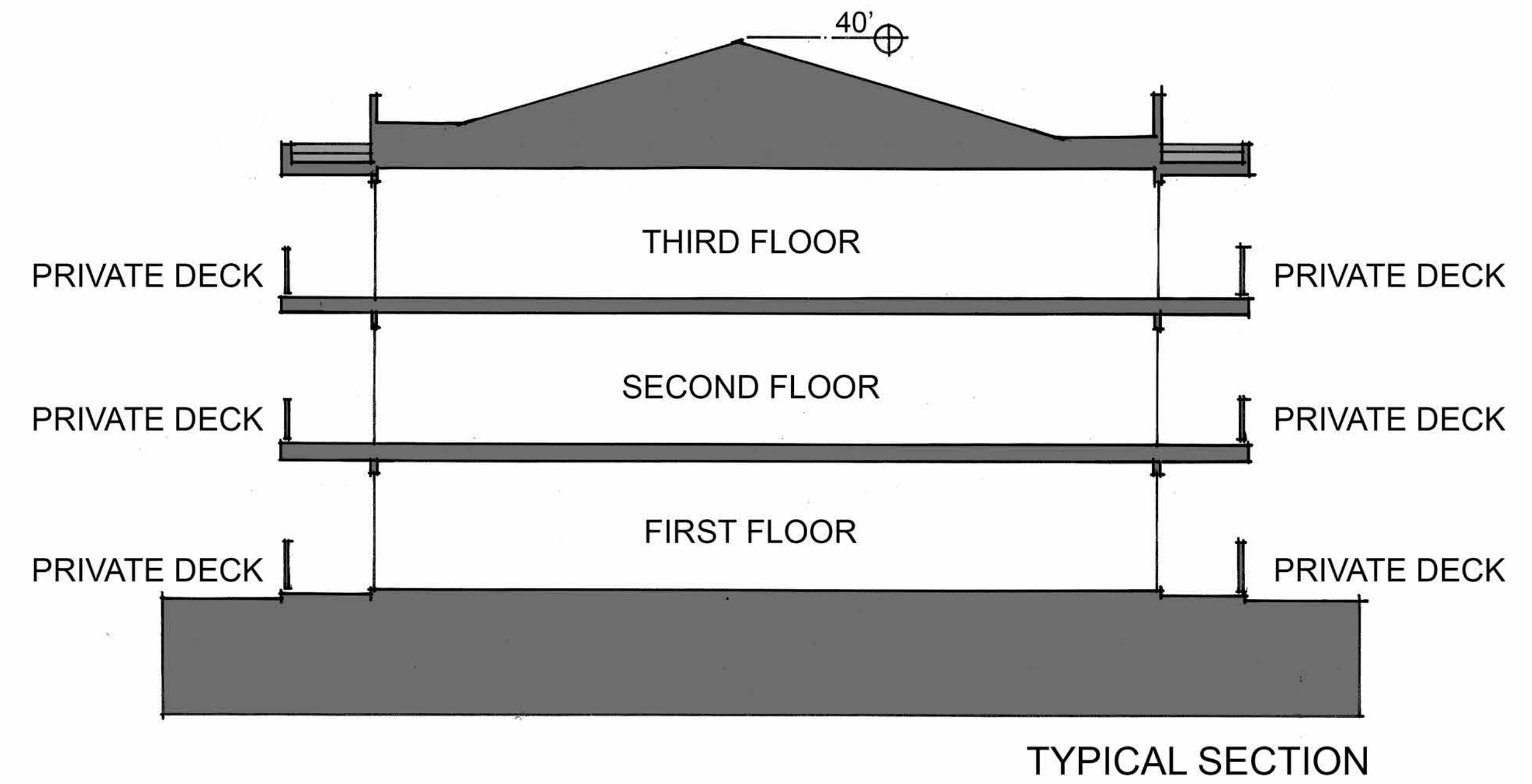
BUILDING A ROOF PLAN & SECTION

8

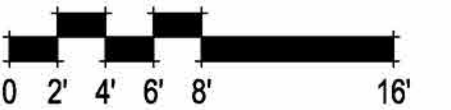
346.012 F-8A HDR
Roseville, CA
July 30, 2021

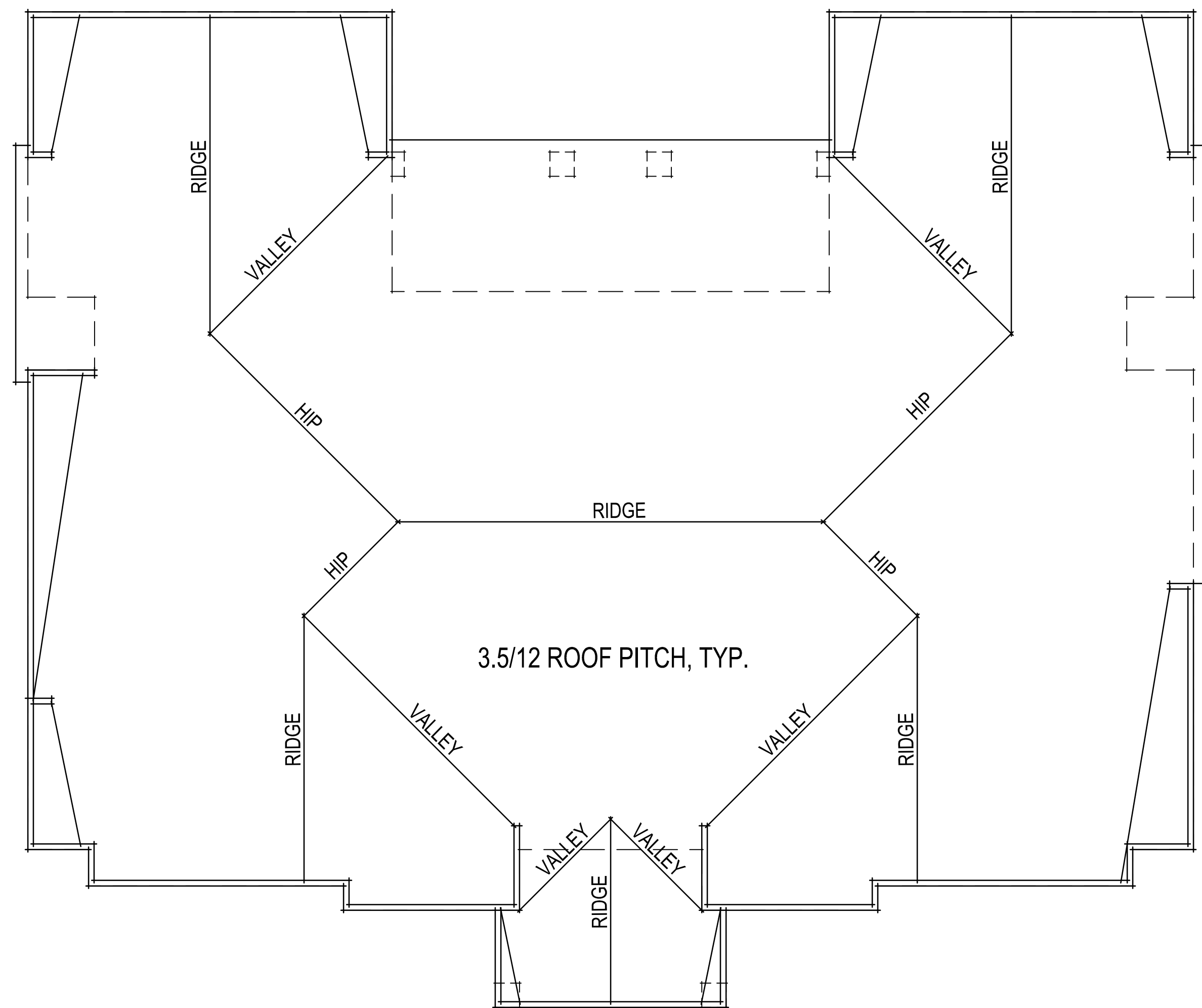
SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



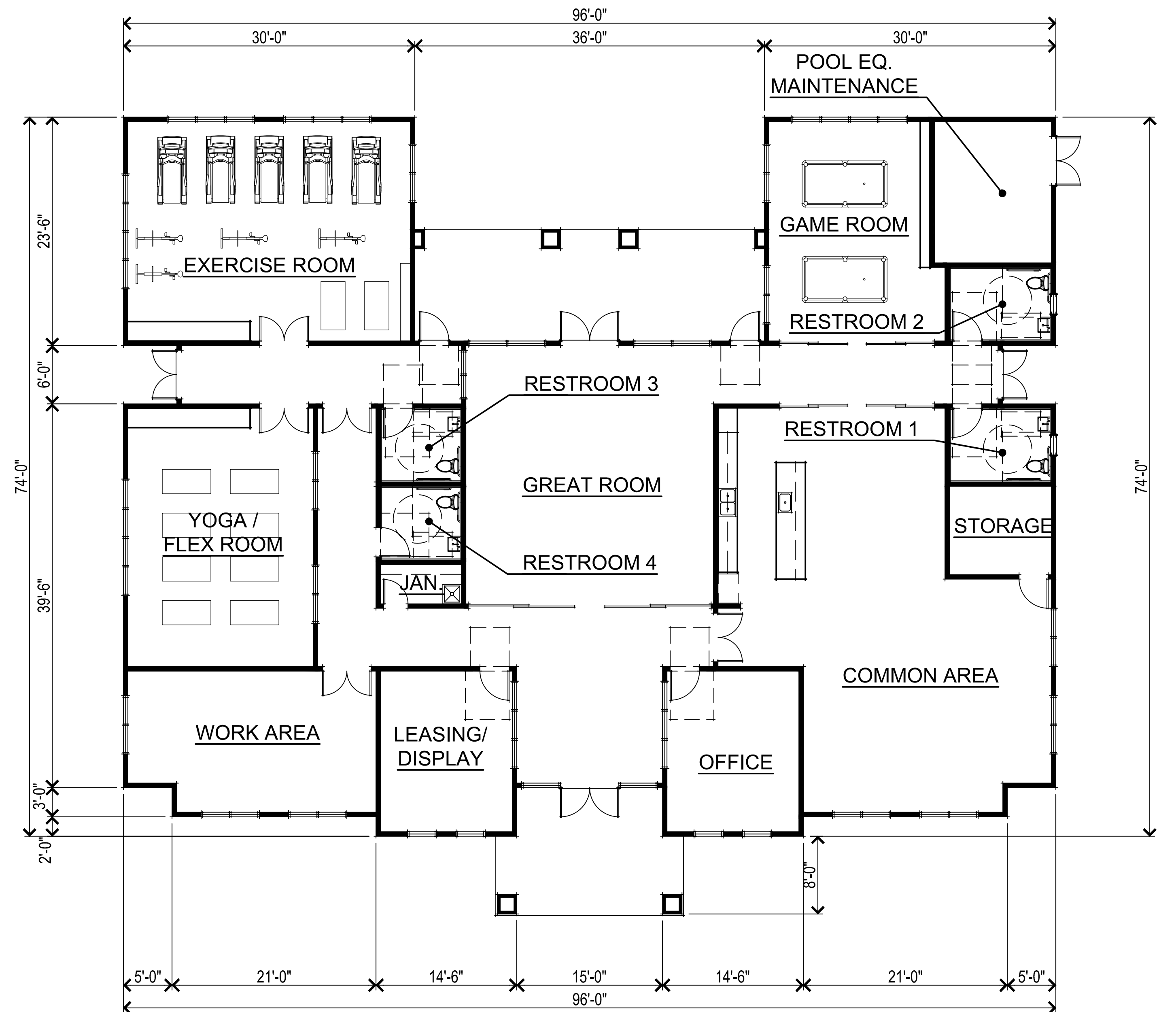


ROOF PLAN



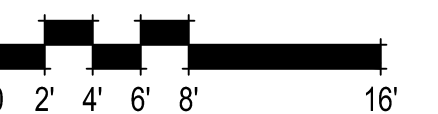


ROOF PLAN



FLOOR PLAN

CLUBHOUSE BUILDING SQUARE FOOTAGE	
FIRST FLOOR	6000 SQ. FT.





RIGHT ELEVATION



REAR ELEVATION



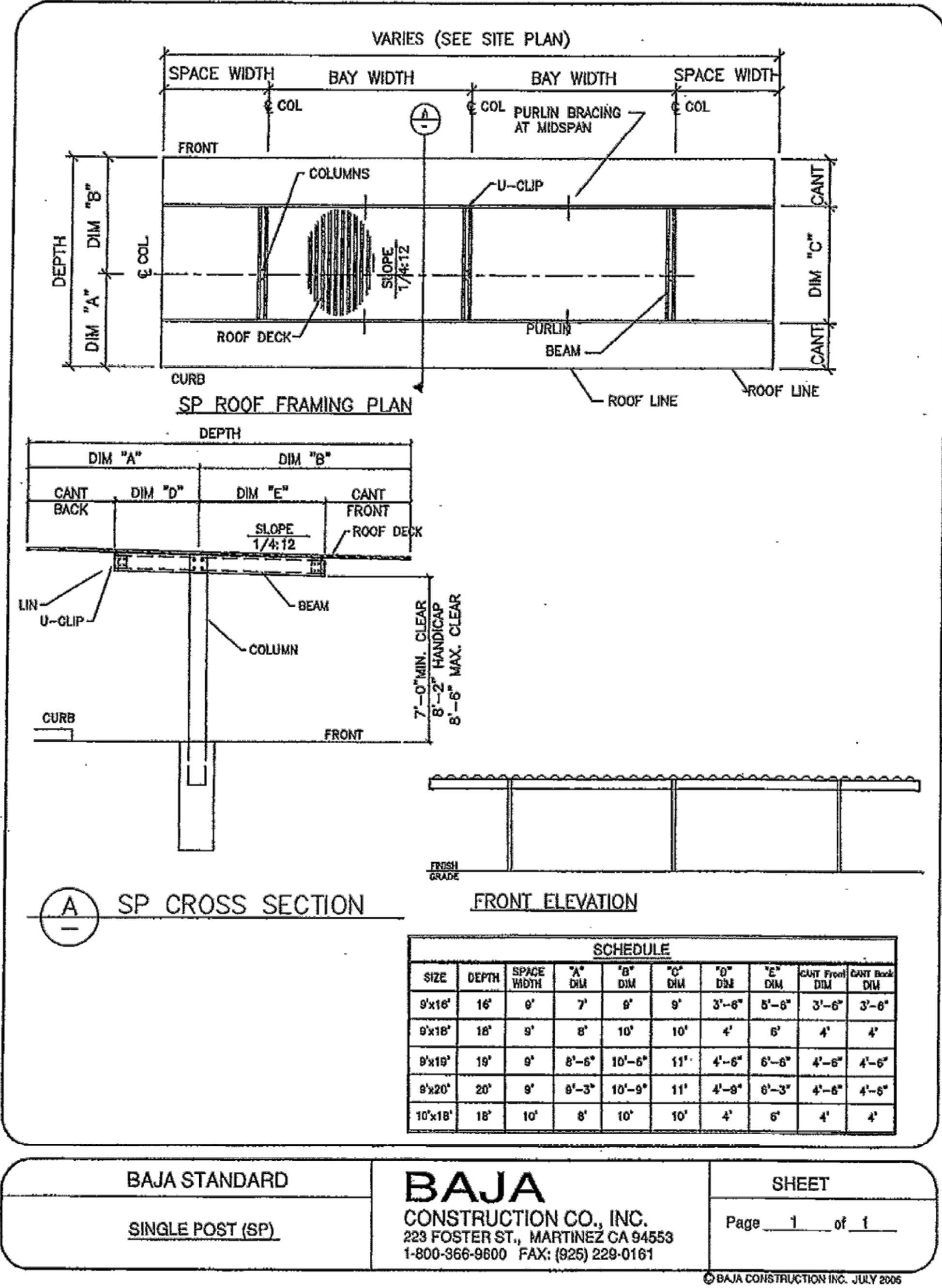
LEFT ELEVATION



FRONT ELEVATION



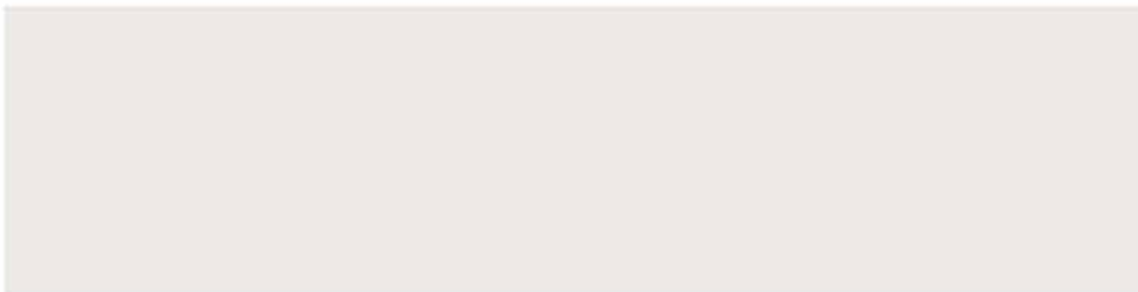
CARPORT EXAMPLE PHOTO



CARPORT TYPICAL DETAIL



CertainTeed Roofing
Landmark PRO Cobblestone Gray



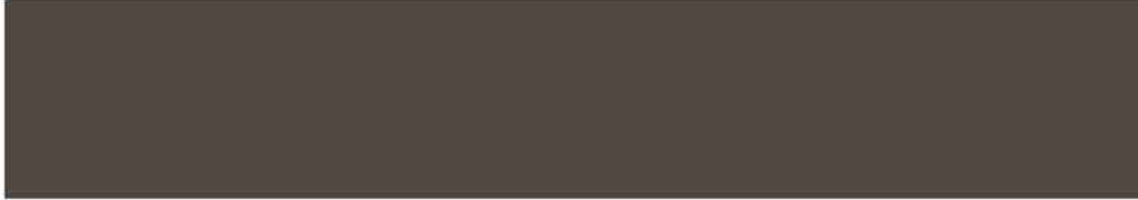
Exterior Plaster 1
SW 7004 Snowround



Exterior Plaster 2
SW 7016 Mindful Gray



Exterior Plaster 3
SW 2803 Rookwood TerraCotta



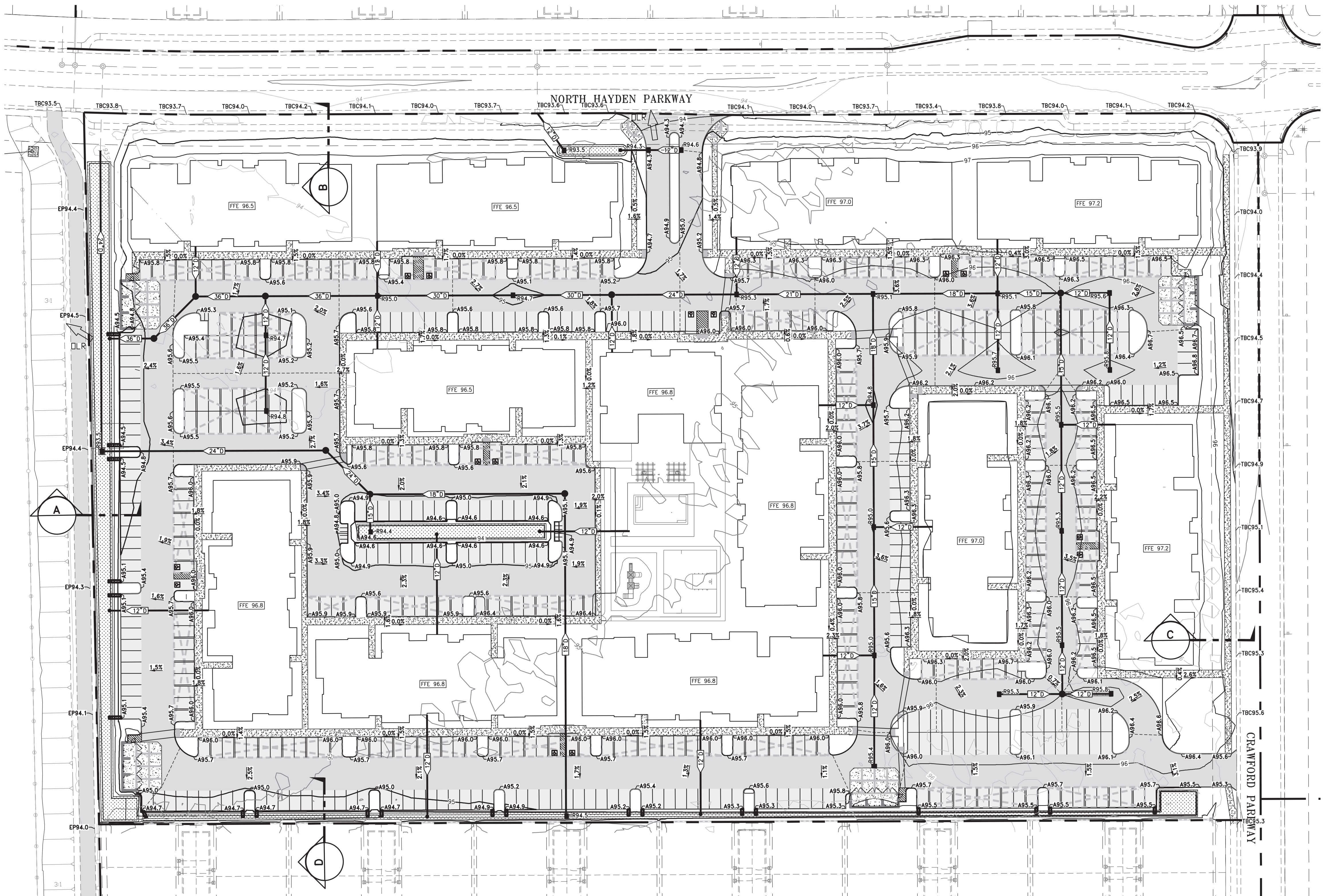
Parapet Roof Forms
SW 7020 Black Fox



**Wood Railing
Metal Canopy & Accents**
SW 7019 Gauntlet Gray

***Note:** All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.*

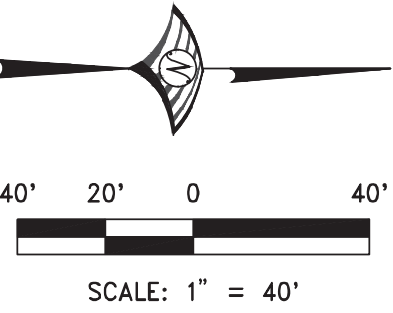
PRELIMINARY GRADING PLAN
F-8A HDR
SEC OF NORTH HAYDEN PARKWAY AND CRAWFORD PARKWAY
ROSEVILLE, CALIFORNIA
AUGUST, 2021



LEGEND

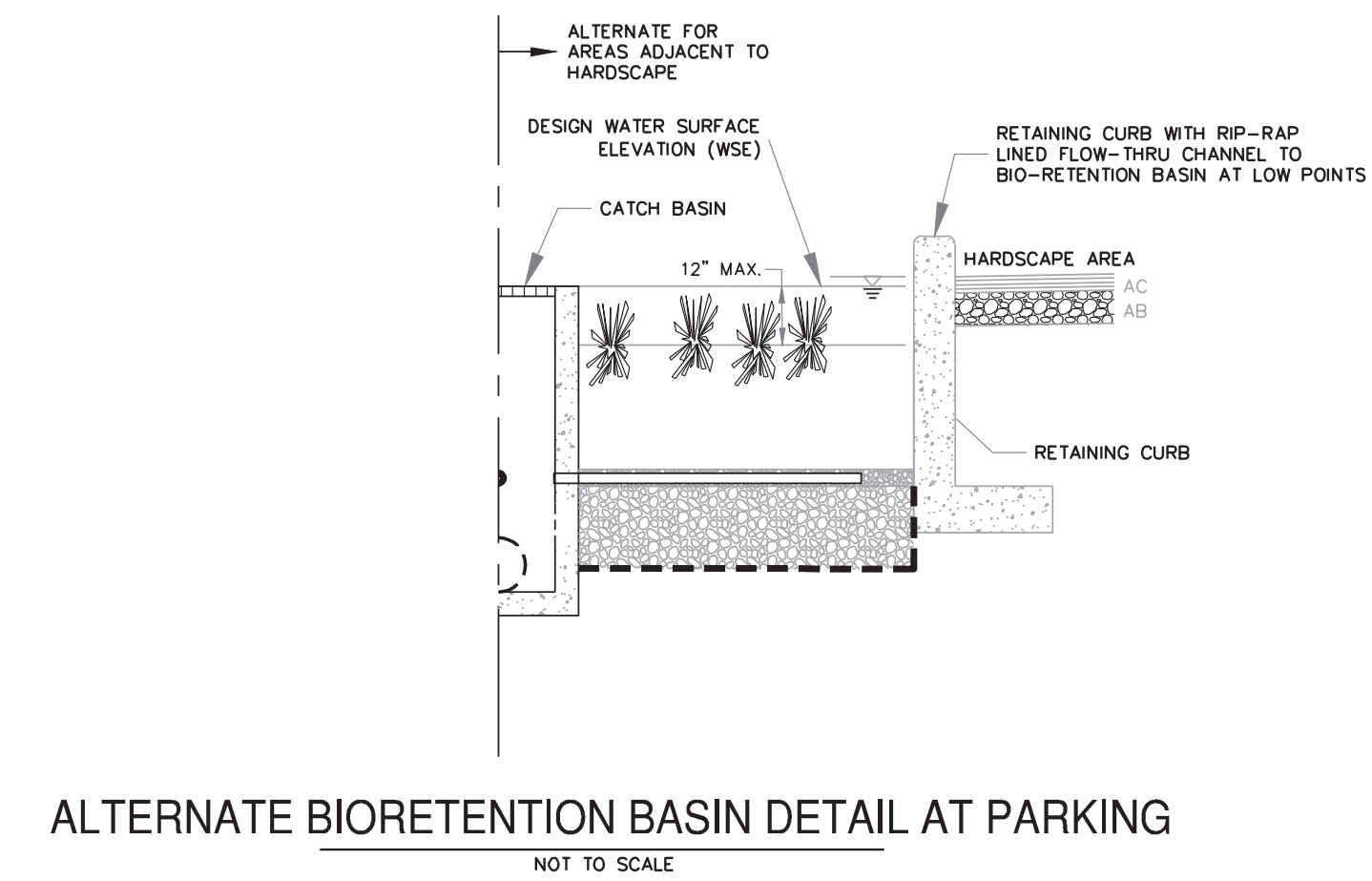
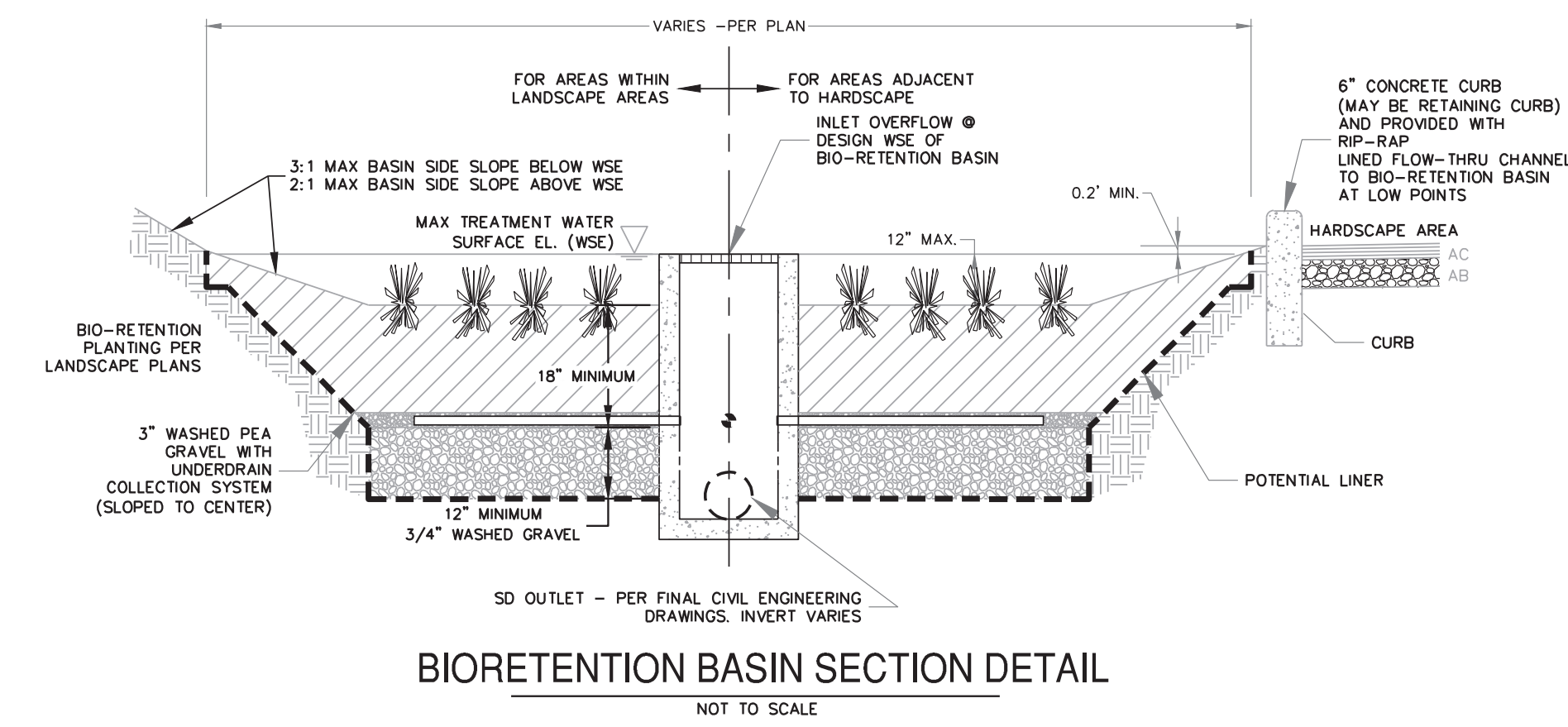
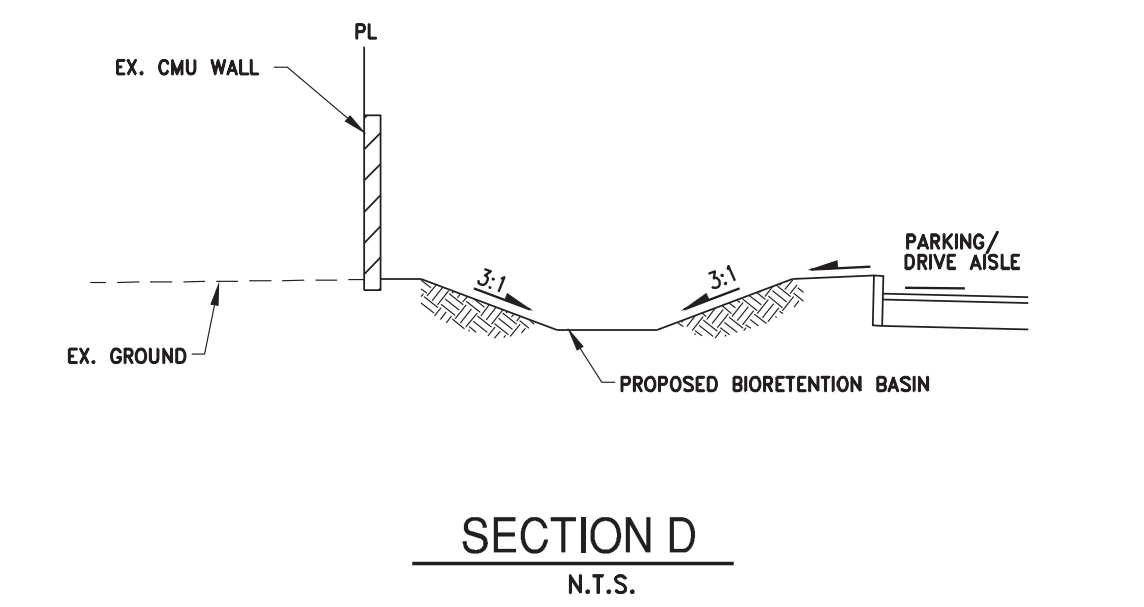
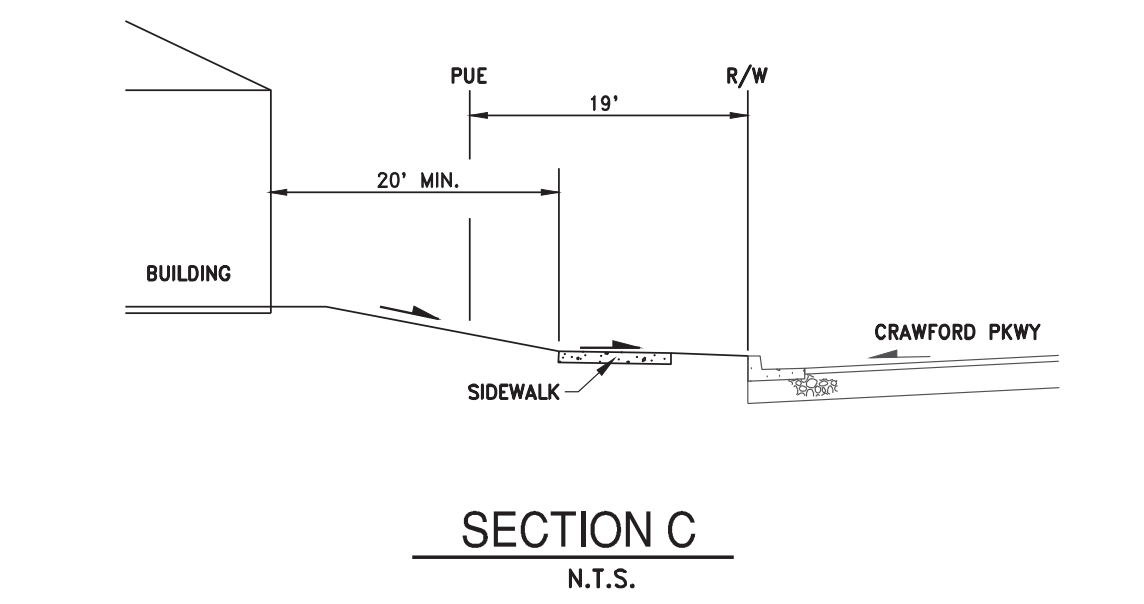
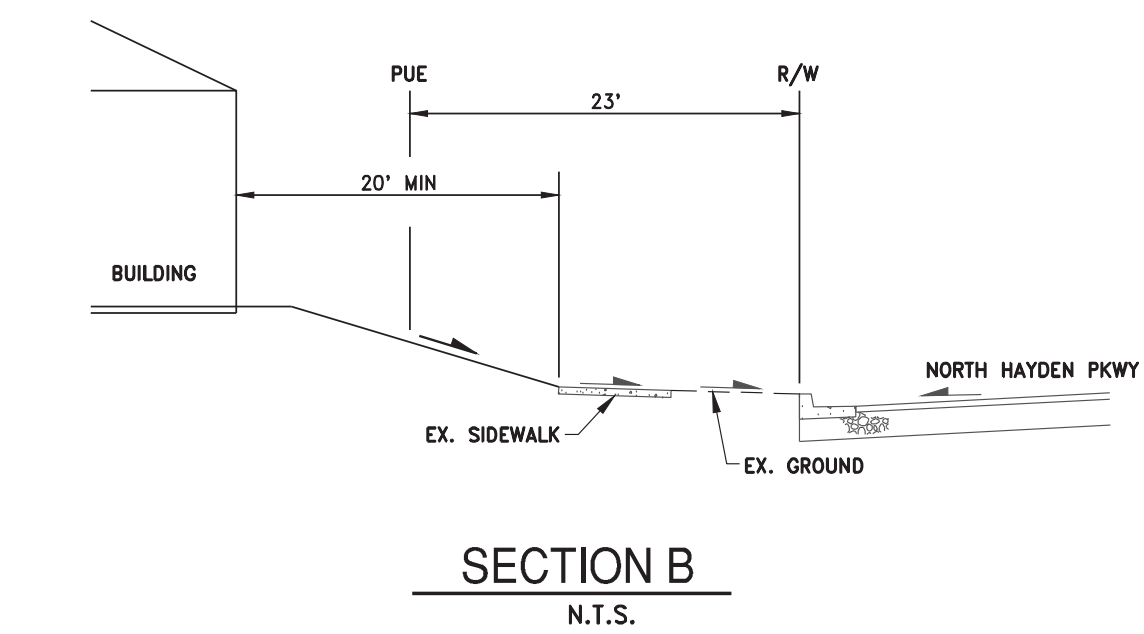
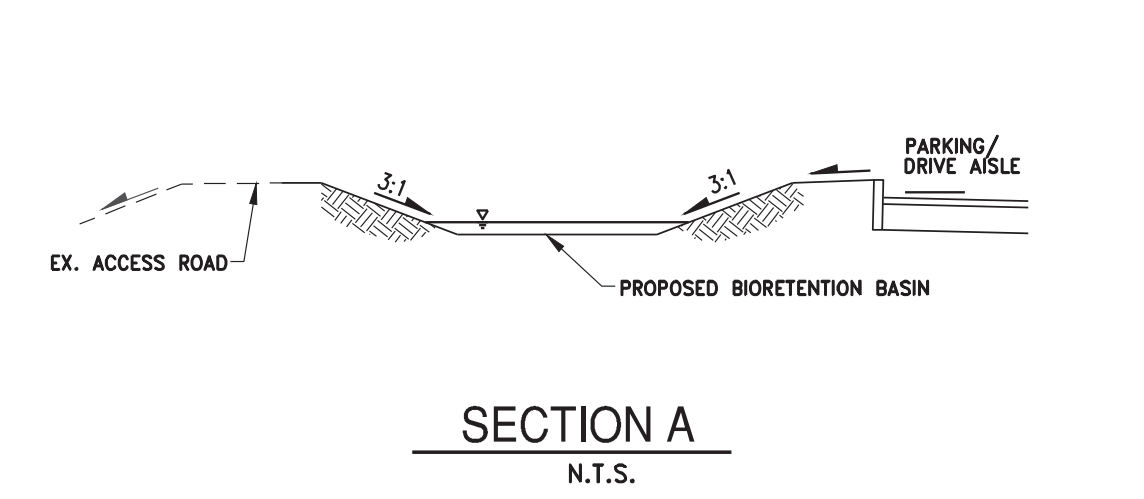
- ASPHALT CONCRETE - LIGHT DUTY
- ASPHALT CONCRETE - MEDIUM DUTY
- CONCRETE - PEDESTRIAN AREAS
- CONCRETE - VEHICULAR AREAS
- BIORETENTION BASIN
- CARPORT AREA

- NOTES**
1. TO IS 6" ABOVE ASPHALT UNLESS OTHERWISE NOTED.
 2. ACCESSIBLE PATH OF TRAVEL SHALL BE 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE.
 3. SEE SHEET C1.1 FOR TYPICAL SECTIONS.
 4. THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
 5. THIS EXHIBIT IS FOR PRELIMINARY PLAN PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO DEVELOPMENT DURING THE IMPROVEMENT PLAN PHASE.
 6. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND WILL BE FURTHER VALIDATED AS THE DESIGN PROGRESSES TO IMPROVEMENT PLAN PHASE.
 7. SPOT ELEVATIONS ARE PAVEMENT GRADE, UNLESS NOTED OTHERWISE (A=ASPHALT; R=RIM; FL=FLOWLINE; EP=EXISTING EDGE OF PAVEMENT)
 8. THE PROPOSED GRADING DESIGN, UTILITY LAYOUT AND SIZES SHOWN ARE CONCEPTUAL AND SUBJECT TO MODIFICATION AS DESIGN PROGRESSES TO IMPROVEMENT PLAN PHASE.
 9. ACCESSIBLE PARKING STALLS AND LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
 10. ADDITIONAL INTERIOR AND PROPERTY LINE RETAINING WALLS MAY BE REQUIRED AND WILL BE DETERMINED DURING IMPROVEMENT PLAN PHASE.
 11. CURB CUT FLOW-THRU'S SHALL BE PROVIDED ADJACENT TO BIORETENTION BASINS TO ALLOW STORM RUNOFF TO ENTER FACILITY.
 12. SEE SHEET C1.1 FOR EARTHWORK VOLUMES AND STRUCTURAL SECTIONS.



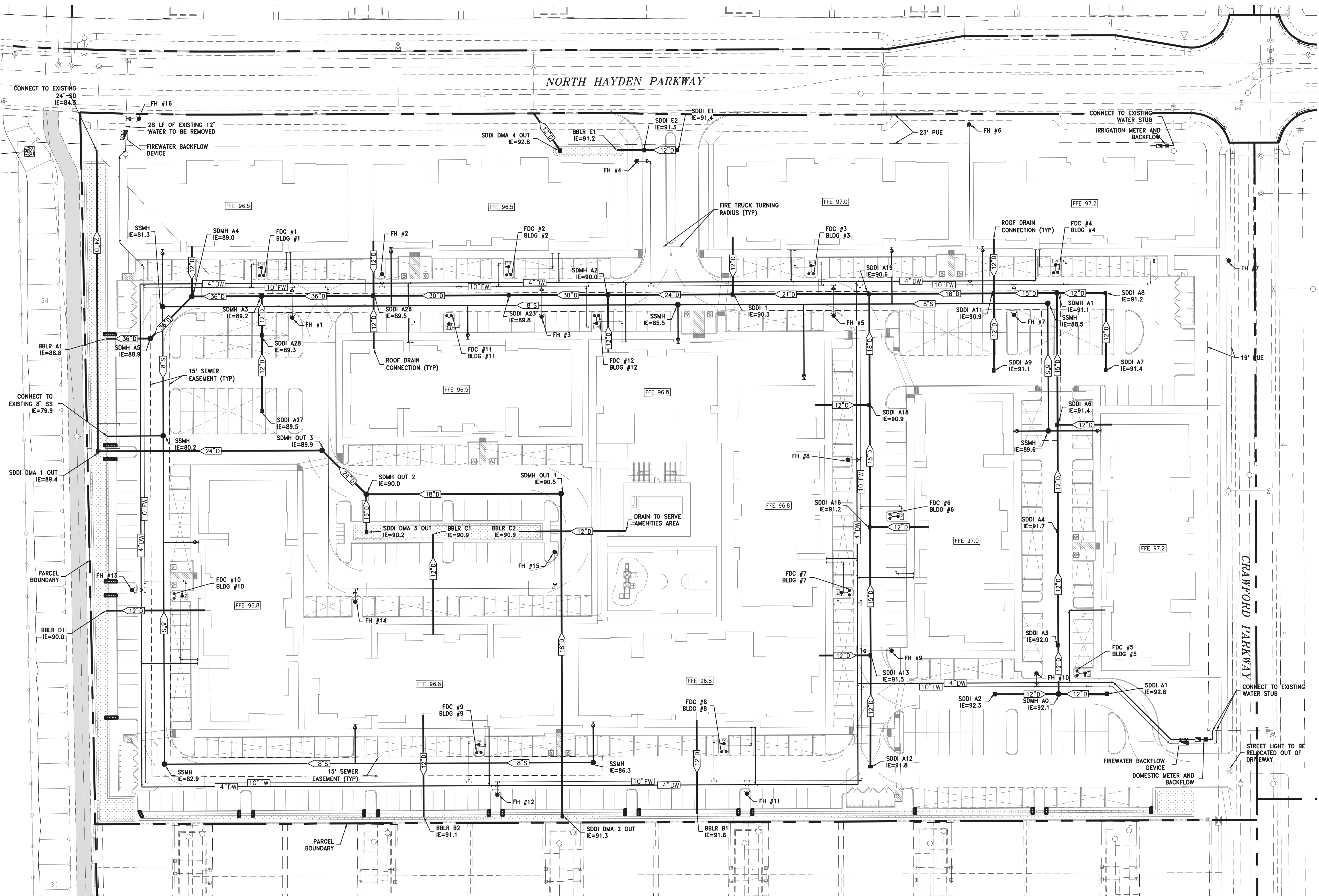
C1
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
231 Vernon Street
Roseville, CA 95678
Tel 916.341.7760
Fax 916.341.7767

GRADING DETAILS
F-8A HDR
SEC OF NORTH HAYDEN PARKWAY AND CRAWFORD PARKWAY
ROSEVILLE, CALIFORNIA
AUGUST, 2021



EARTHWORK	
RAW EARTHWORK (BEFORE STRUCTURAL SECTIONS):	
CUT (15% SHRINK):	925 CY
FILL (0% ADJUSTMENT):	20,850 CY
GROSS CUT OR FILL:	19,925 CY FILL
STRUCTURAL SECTIONS:	
PARKING DRIVE AISLES:	107,775 SF @ 12" THICK: 3,990 CY
PARKING STALLS:	84,500 SF @ 10" THICK: 2,610 CY
SIDEWALK:	31,860 SF @ 8" THICK: 790 CY
CONCRETE DRIVE:	4,625 SF @ 14" THICK: 200 CY
BIO RETENTION BASINS:	14,765 SF @ 2.5' THICK: 1,365 CY
BUILDING SLAB AND FOUNDATIONS:	129,636 SF @ 1' THICK (ASSUMED): 4,800 CY
POOL:	800 SF @ 5.5' DEPTH (1' STRUCTURAL; 4' WATER; 0.5' FREEBOARD): 165 CY
LANDSCAPE MULCH AND TOPSOIL:	135,000 SF @ 0.5' THICK: 2,500 CY
BUILDING MISC. SPOILS:	250 CY @ 13 BUILDINGS: 3,250 CY
TOTAL STRUCTURAL SECTIONS:	19,670 CY CUT
NET EARTHWORK:	BALANCE

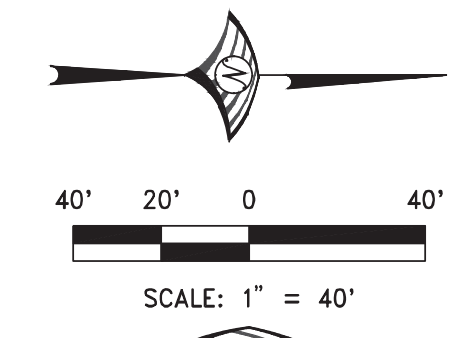
PRELIMINARY UTILITY PLAN
F-8A HDR
SEC OF NORTH HAYDEN PARKWAY AND CRAWFORD PARKWAY
ROSEVILLE, CALIFORNIA
AUGUST, 2021



LEGEND

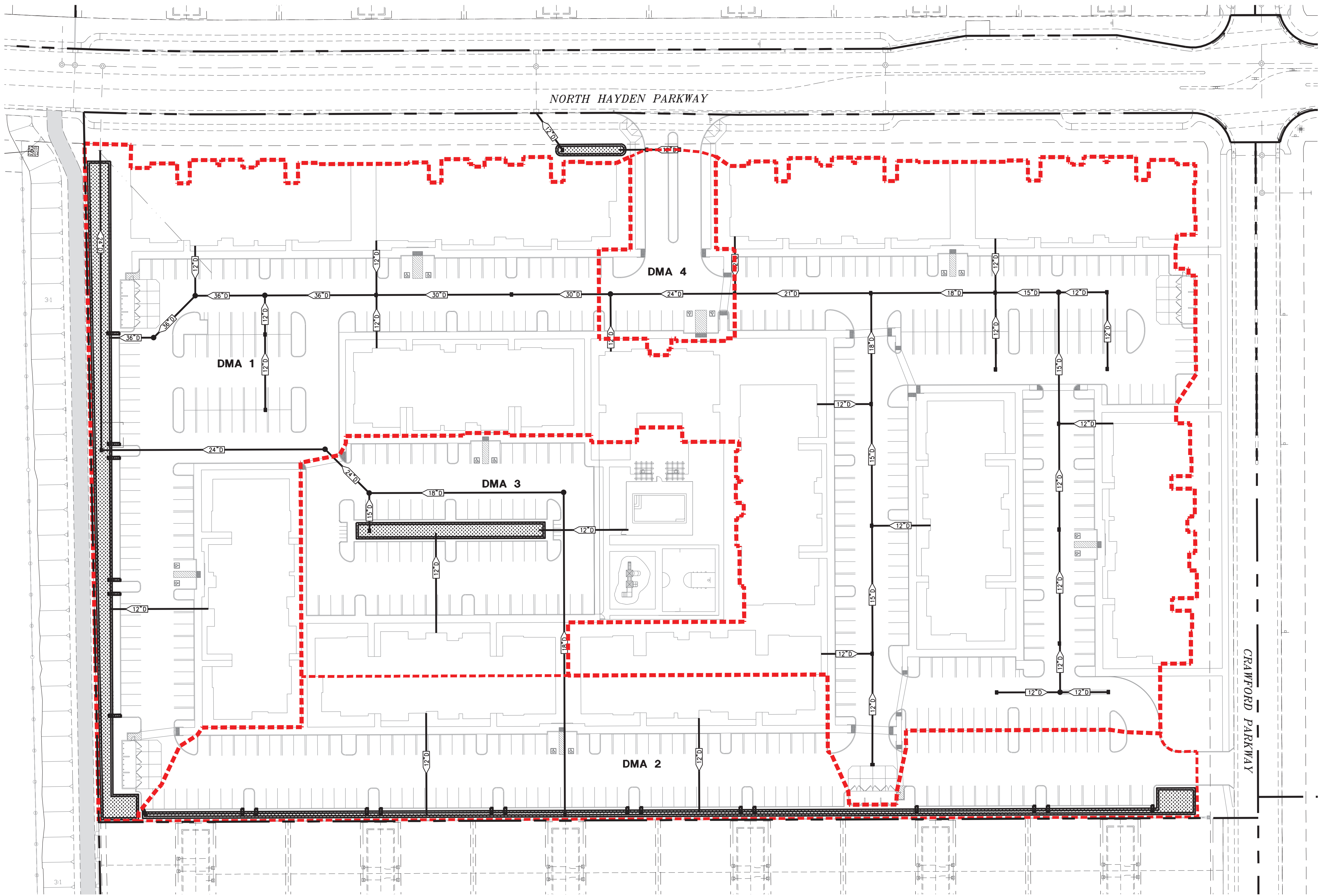
	12" D	STORM DRAIN LINE & SIZE
	■	DROP INLET
	8" S	SANITARY SEWER GRAVITY LINE & SIZE
	4" DW	DOMESTIC WATER LINE
	10" FW	FIRE WATER LINE
		FIRE HYDRANT, BURY, AND GATE VALVE
		FIRE DEPARTMENT CONNECTION - COMPLETE WITH CHECK VALVE, CAPS, SIGN.
	●	PIV ASSEMBLY

- NOTES**
1. FINAL LAYOUT AND SIZE OF ONSITE UTILITIES WILL BE DETERMINED DURING IMPROVEMENT PLAN DESIGN PHASE.
 2. ONSITE WATER MAINS ARE PRIVATE FACILITIES.
 3. ONSITE STORM DRAINS ARE PRIVATE FACILITIES.
 4. ONSITE SANITARY SEWER SYSTEM ARE PUBLIC FACILITIES.
 5. THIS EXHIBIT IS FOR PRELIMINARY PLAN PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO DEVELOPMENT DURING THE IMPROVEMENT PLAN PHASE.
 6. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND WILL BE FURTHER VALIDATED AS THE DESIGN PROGRESSES TO IMPROVEMENT PLAN PHASE.
 7. THE PROPOSED UTILITY LAYOUT AND SIZES SHOWN ARE CONCEPTUAL AND SUBJECT TO MODIFICATION AS DESIGN PROGRESSES TO IMPROVEMENT PLAN PHASE.



C3
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Fax 916.341.7767

PRELIMINARY STORMWATER MANAGEMENT PLAN
F-8A HDR
SEC OF NORTH HAYDEN PARKWAY AND CRAWFORD PARKWAY
ROSEVILLE, CALIFORNIA
AUGUST, 2021



LEGEND

 BIORETENTION BASIN

NOTES

1. STORMWATER QUALITY TREATMENT IS TO BE PROVIDED BY BIORETENTION BASINS.
2. ROOF DRAINS ARE ANTICIPATED TO BE HARD-PIPED AND BUBBLER STRUCTURES TO BASIN WITHIN ASSOCIATED DMA.
3. CURB CUTS WILL BE PROVIDED TO CONVEY WATER FROM ASPHALT TO BIORETENTION BASINS AT APPROPRIATE LOW POINTS. RIP-RAP WILL BE PROVIDED FOR ENERGY DISSIPATION.
4. THIS EXHIBIT IS FOR PRELIMINARY PLAN PURPOSES ONLY. ALL DRAINAGE SYSTEM CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO DEVELOPMENT.
5. THE PROPOSED GRADING DESIGN, TREATMENT LOCATION, UTILITY LAYOUT AND SIZES SHOWN ARE CONCEPTUAL AND SUBJECT TO MODIFICATION AS DESIGN PROGRESSES TO IMPROVEMENT PLAN PHASE.

DMA #	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT REQUIRED (SF)	TREATMENT PROVIDED (SF)
1	254833	54382	7565	7683
2	57874	14742	2455	4671
3	53225	6801	1545	1927
4	11030	2228	460	485

NOTE: BIORETENTION BASINS ARE LARGER THAN REQUIRED TO PROVIDE FLEXIBILITY DURING DESIGN. SIZING WILL BE REFINED AT THE IMPROVEMENT PLAN STAGE

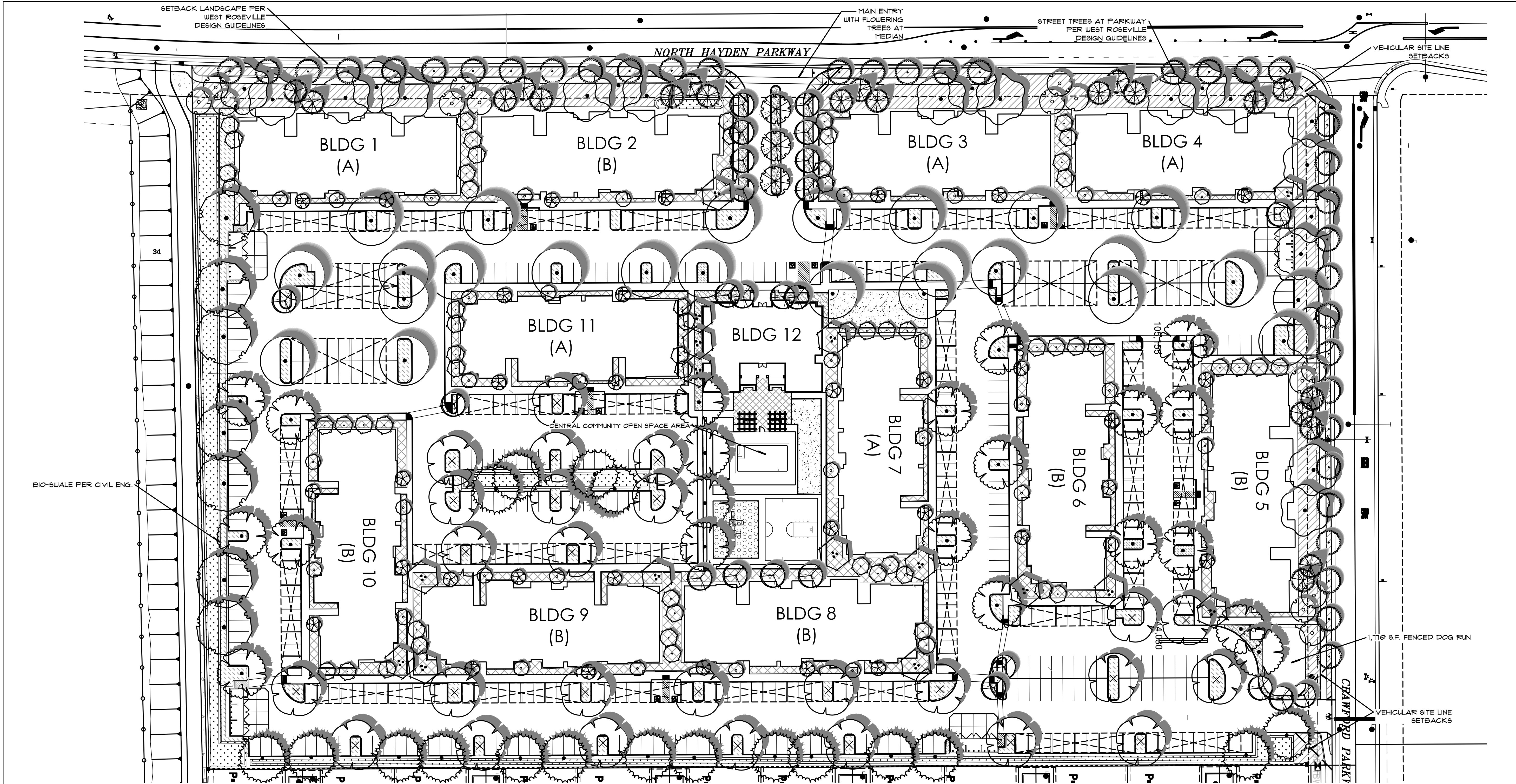


40' 20' 0 40'
SCALE: 1" = 40'



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C4



PROPOSED TREE SPECIES

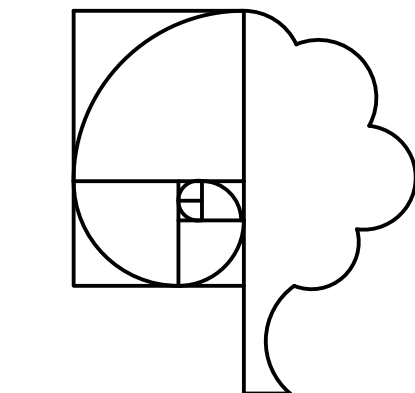
TREES	BOTANICAL / COMMON NAME
	ACER JAPONICUM BLOODGOOD / BLOODGOOD MAPLE
	ACER RUBRUM 'AUTUMN RED' / AUTUMN RED MAPLE
	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD
	ELAEOCARPUS DECIPENS / JAPANESE BLUEBERRY TREE
	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE
	LAGERSTROEMIA X 'CHEYENNE' / CHEYENNE CRAPE MYRTLE
	LIRODENDRON TULIPIFERA 'FASTIGIATA' / COLUMNAR TULIP POPLAR
	MAGNOLIA GRANDIFLORA 'MAJESTIC BEAUTY' TM / MAJESTIC BEAUTY SOUTHERN MAGNOLIA
	PINUS ELДАРICA / AFGHAN PINE
	PISTACHIA KETH DAVEY / PISTACHE K.D.
	PLATANUS X ACERIFOLIA 'COLUMBIA' / COLUMBIA LONDON PLANE TREE
	PODOCARPUS HENKELI / LONG-LEAFED YELLOW WOOD
	QUERCUS LOBATA / VALLEY OAK
	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN
	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN SAULEAF ZELKOVA

PLANT SCHEDULE

QTY	REMARKS	GROUND COVERS	BOTANICAL / COMMON NAME	QTY	REMARKS
34			BUILDING LANDSCAPE / LOW/MEDIUM WATER, ADJUST FOR SUN/SHADE	29,511	SF
18			ENTRY LANDSCAPE / MEDIUM WATER USE, ENHANCED / FLOWERING	3,335	SF
25			PERIMETER / PARKING LANDSCAPE / LOW WATER USE GRASSES AND GROUNDCOVERS	14,321	SF
61			SETBACK LANDSCAPE / PER WEST ROSEVILLE D.G.	3,279	SF
14			TRAILSIDE LANDSCAPE / SLOPE COVER, HYDROSEED	2,646	SF
21			TURF / SOD	3,766	SF

SHADE CALCULATIONS

Shade Calculations for Village F-8A, Roseville, CA						
Botanical Name	Quantity	Shade allowed	at 25%	at 50%	at 100%	Total
40' SHADE CANOPY	74	1256	8	25	41	69,708.00
30' SHADE CANOPY	18	706	0	18	0	6,354.00
20' SHADE CANOPY	17	314	0	15	2	2,983.00
Total Shade Allowed	109		8	58	43	79,045.00
UNCOVERED parking lot area						149,185.00
50% shade required @ 15 yrs						74,592.50
% Shade Provided						53%



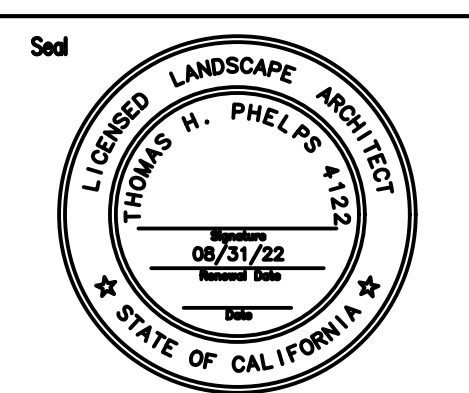
THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112

P.O. BOX 170129
Boise, Idaho 83717
thp@idla-inc.net
(208) 906-1300

VILLAGE F-8A
2700 N. HAYDEN PKWY.
ROSEVILLE, CALIFORNIA

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Sheet Title
LANDSCAPE MASTER PLAN



No.	Date	Revision
1		
2		
3		
4		
5		

Project Mgr.: THP
Drawn By: SRV
Scale: 1"=40'-0"
Date: 7/22/21
File Name: of sheets

FIDDYMMENT RANCH APTS. PRELIMINARY SITE PLAN
JULY 22, 2021

