City of Roseville
Parks and Recreation Department
Kaseberg Park Gazebo Roofing Project

2016 CALIFORNIA GREEN BUILDING CODE

NON-RESIDENTAL MANDATORY MEASURES

Method of Compliance Verification (MCV) shown below measures

SECTION 5.401 MATERIAL CONSERVATION/RECOURCE EFFICIENCY

5.401.1 Scope. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting. MCV: Where applicable the requirements of this section shall be documented on the plans; completion of necessary compliance forms and results of required special inspections shall be provided to the Building Inspection Division prior to issuance of Certificate of Occupancy.

SECTION 5.501 ENVIRONMENTAL QUALITY

5.501.1 Scope. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. MCV: General Contractor shall retain material data sheets for products provided under this section for on-site verification.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

1. Adhesives, adhesive bonding primers adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAOMD Rule 1168VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1t 68 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol paints and coatings. Aerosol paints and coatings shall meet the PIWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17., commencing with Section 94520; and in areas under tile jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

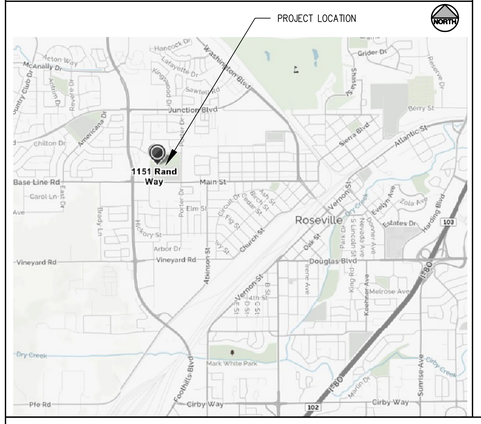
5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) Those materials not exempted under ATCM must meet the specified emission limits, as show in table 5.540.4.5.

702.2 Special Inspection. [HCD] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed and shall be independent entities with no financial interest in the materials or the project that they are inspecting for compliance with this code.

WASTE MANAGEMENT

Submit a Waste Management Plan by email to SCST@Roseville.ca.us or by fax to 916-774-5798. And that if you have questions or need assistance completing a Waste Management Plan, that you will call 916-774-5780.

VICINITY MAP



GENERAL NOTES AND REQUIREMENTS

A. CODE COMPLIANCE

1. All materials and workmanship shall comply with the latest editions of the California Building Code and all other applicable Codes and Local Ordinances.
2. Contractors shall be familiar with all building codes, regulations and local ordinances having jurisdiction over this project and shall notify architect of any discrepancies prior to proceeding with any work affected by the discrepancy.

B. CONTRACTUAL

1. The Work of the contract shall include all work indicated on the Drawings or Specifications (Contract Documents) which falls within the general construction limits as defined on the drawings and any work outside the general construction limits noted or otherwise indicated as part of the contract.
2. The General Contractor shall clarify in the Construction Contract the extent of sitework that is or is not included in the construction contract. The contract shall identify specifically the extent of driveway, patio slab work, decking, Site drainage systems, landscaping and irrigation systems, etc. that are included in the contract.
3. The Construction Contract shall clearly identify any work that shall be completed or paid separately for by the Owner.
4. All materials shall be new, of grades and types specified and shall be guaranteed for one year from notice of completion.

C. ARCHITECTURAL CONTROL

1. Any diversion from the drawings or specifications shall require the approval of the Architect prior to commencing with the modification.
2. The Architect reserves the copyright to all drawings and designs. The drawings shall not be reused for any site location other than the one specified here without the approval of the Architect.

D. CONTRACTOR RESPONSIBILITIES

1. Contractor shall investigate, verify and be responsible for all conditions and dimensions of the project and shall notify Owner of any condition requiring modification or change before proceeding with the work.
2. Contractor shall visit the Bite to verify site conditions -- topography, location of utilities, vegetation, existing structures, easements, dimensions -- prior to submitting a construction bid.
3. Each Contractor shall furnish all labor, materials, tools, transportation and equipment necessary to perform all work under his trade in full accordance with the Contract Documents and Contracts.
4. Each contractor shall clean up debris resulting from his work.

E. DIMENSION AND MISC.DRAWING REQUIREMENTS

1. All dimensions shown on the drawings shall be verified by the Contractor and if there are any discrepancies, the contractor shall notify the Architect prior to-proceeding with any work affected by the discrepancy.
2. Unless specified otherwise dimensions shown shall be taken to face of stud, concrete or masonry (whichever is applicable) on all exterior and interior walls
3. Dimensions take precedence over scale.
4. Details marked typ." Or "typical" shall apply in all cases unless specifically indicated otherwise.
5. Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like or similar cases of construction· on this project.

F. CUTTING AND PATCHING (REMODELING WORK)

1. Match existing materials with new materials so that patching work is undetectable.
2. For cutting work, use proper cutting tools, not chopping tools. Make neat holes. Minimize damage to adjacent work. Check for concealed utilities and structure before cutting.
3. Make patches, seams, and joints durable and inconspicuous. Tolerances for patching shall be the same as for new work.

G. PROJECT CLOSE-OUT AND FINAL CLEANING

1. At completion of the Work, remove from the job site all tools and equipment, surplus materials, scrap and debris.
2. Inspect exterior and interior surfaces and remove all waste materials, paint droppings, spots, stains or dirt.
3. Schedule final cleaning as approved by the Owner to enable Owner to accept a completely clean project.
4. Final cleaning will be comparable to that provided by professional, skilled cleaners using commercial grade cleaning materials. Cleaning materials will be used with care and will be compatible with building materials and finishes. Final cleaning will include removal of scraps or waste in landscaped areas and thorough cleaning of walkways, desks, paved areas and public paved areas adjacent to the site.

ABBREVIATIONS

ABV.	ABOVE	CEM.	CEMENT	F.H.W.S.	FLAT HEAD WOOD SCREW	INT.	INTERIOR	O.C.	ON CENTER	SL.	SLOPE
&	AND	CER.	CERAMIC	FE.	FIRE EXTINGUISHER	IN.	INCHES	O.D.	OUTSIDE DIAMETER	S.P.	STRUCTURAL PLYWOOD
@	AT	C.L.	CENTERLINE	FIB. GL.	FIBERGLASS	INSUL.	INSULATION	OPP.	OPPOSITE	SQ.	SQUARE
A/C.	AIR CONDITIONING	CLG.	CEILING	FIN.	FINISH			OV.	OVER	STD.	STANDARD
ACOUS.	ACOUSTICAL	CLR.	CLEAR	F.F.	FINISH FLOOR	JAN.	JANITOR	OV.	OVEN	S/A	SUPPLY AIR
A.D.A.	AMERICANS WITH DISABILITIES ACT	CONC.	CONCRETE	FL.	FLOOR	JST.	JOIST			SUSP.	SUSPENDED
ADJ.	ADJUSTABLE	C.M.U.	CONC. MASONRY UNIT	F.M.B.	FLOOR MATL BREAK			PL.	PLATE		
AGG.	AGGREGATE	CONN.	CONNECTION	FLASH.	FLASHING	lb., #	POUND	PLY.	PLYWOOD	TEL.	TELEPHONE
AL.	ALUMINUM	CONT.	CONTINUOUS	FLUOR.	FLUORESCENT	LAM.PLAS.	LAMINATED PLASTIC	PLAS.	PLASTER	T&G	TONGUE AND GROOVE
		C.J.	CONTROL JOINT	F.O.B.	FACE OF BLOCK	LAV.	LAVATORY	P.M.F.	PRESSED METAL FRAME	THK.	THICK
BD.	BOARD			FT.	FOOT OR FEET			PWD.	PLYWOOD	TPD	TOILET PAPER DISPENSER
BETW.	BETWEEN	DEMO	DEMOLITION	FTG.	FOOTING	MATL.	MATERIAL	PR.	PAIR	TS	TUBE STEEL
BLDG.	BUILDING	DET.	DETAIL	FURR.	FURRING	MAX.	MAXIMUM	P.T.	PRESSURE TREATED	TYP.	TYPICAL (AT ALL SIMILAR CONDITIONS)
BLK.	BLOCK	DIAM.	DIAMETER	F.R.P.	FIBERGLASS REINFORCED PLASTIC	MECH.	MECHANICAL				
BLKG.	BLOCKING	D.I.	DRAIN INLET			MET.	METAL	R.W.L.	RAIN WATER LEADER		
BM.	BEAM	Ø	DIAMETER OR ROUND	GA.	GAUGE	MFR.	MANUFACTURER	R/A	RETURN AIR	U.B.C.	UNIFORM BUILDING CODE
BOT.	BOTTOM	DBL.	DOUBLE	GALV.	GALVANIZED	MIN	MINIMUM	R.	RAD.US	U.N.O.	UNLESS NOTED OTHERWISE
		D.F.	DOUGLAS FIR	G.B.	GRAB BAR	MISC.	MISCELLANEOUS	REINF.	REINFORCED		
CA	CALIFORNIA	DN.	DOWN	G.D.	GARBAGE DISPOSAL	MOIST.	MOISTURE	REQ.	REQUIRED	VAL.	VALLEY
CAB.	CABINET	DR.	DOOR	G.I.	GALVANIZED IRON	M.B.	MOISTURE BARRIER	RES.	RESISTANT	VERT.	VERTICAL
C.B.	CEILING BREAK	D.S.	DOWNSPOUT	GL.	GLASS	MW.	MICROWAVE OVEN	RM.	ROOM		
C.B.C.	CA BUILDING CODE	D.V.	DRYER VENT	GLU-LAM	GLUE LAMINATED	M.T.	METAL THRESHOLD	R.O.	ROUGH OPENING	WAINS.	WAINSCOT
C.E.C.	CA ELECTRICAL CODE	DW	DISHWASHER	G.L.B.	GLU-LAM BEAM			RWD.	REDWOOD	W	WEST OR WATER
C.E.C.	CA ENERGY CODE			GYP.	GYPSUM	(N)	NEW	REF.	REFRIGERATOR	W/	WITH
C.F.C.	CA FIRE CODE	(E) or EXIST.	EXISTING			N.	NORTH	R/S	RUFF-SAWN	WD.	WOOD
C.M.C.	CA MECHANICAL CODE	E.	EAST	H.B.	HOSE BIBB	N/A	NOT APPLICABLE			W/O	WITHOUT
C.P.C.	CA PLUMBING CODE	EA.	EACH	H/C	HANDICAPPED	NFVA	NET FREE VENT AREA	S.	SOUTH	W.H.	WATER HEATER
		E.D.F.	ELECTRIC DRINKING FOUNTAIN	HDR.	HEADER	N.I.C.	NOT IN CONTRACT	S.C.	SOLID CORE	W.P.	WATERPROOF
		E.J.	EXPANSION JOINT	HDWD.	HARDWOOD	NO., #	NUMBER	SCH.	SCHEDULE	W.W.F.	WELDED WIRE FABRIC
		ELEV., EL.	ELEVATION	HT.	HEIGHT	NOM.	NOMINAL	SHT.	SHEET		
		EQ.	EQUAL	HORIZ.	HORIZONTAL	N.T.S.	NOT TO SCALE	S/P	SHELF AND POLE	YD.	YARD
		EXH.	EXHAUST	HR.	HOUR			SW.	SIDEWALK		
		EXT.	EXTERIOR	H.W.	HOT WATER			SIM.	SIMILAR		
				H.R.	HAND RAIL			S.J.	SCORE JOINT		

PROJECT DIRECTORY

Owner & Client
CITY OF ROSEVILLE
PARK DEVELOPMENT ANALYST
PARKS, RECREATION & LIBRARIES
316 Vernon Street, Suite 400
Roseville, CA. 95678
(916) 774-5924
Joel De Jong

Structural
ZFA Structural Engineers
7801 Folsom Boulevard, Suite 204
Sacramento, CA, 95826
(916) 924-7024
Mark A. Moore

Architect
ATI Architects and Engineers
3009 Douglas Boulevard, #290
Roseville, California 95661
(916) 772-1800
G. Michael Goldsworthy

DRAWING INDEX

PROJECT INFORMATION

BUILDING DATA

OCCUPANCY	B
BUILDING TYPE	NOT FIRE SPRINKLED
TOTAL OCCUPANCY LOAD	N/A
BUILDING AREA	2166.6 S.F.
NUMBER OF STORIES	ONE
CONDITIONED	NO

PROJECT SCOPE

REMOVAL OF OLD LATTICE ROOF AND ADDING NEW ROOFING, GUTTERS AND DOWNSPOUTS ON AN EXISTING GAZEBO AT KASEBERG PARK COMPLEX. THE WHOLE GAZEBO WILL BE REPAINTED.

SPECIAL INSPECTIONS

SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.

SYMBOLS

X / XX — DETAIL NUMBER / NOTE — NOTES / DETAIL SHEET
X / Y — ELEV LETTER / ELEV SHEET
1 — KEYNOTE REFERENCE
1 — DOOR SCHEDULE REFERENCE KEY
AA — ELEVATION VIEW
X / Y — ELEVATION LETTER / ELEVATION SHEET
1 — REVISION NUMBER

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE WITH CITY OF ROSEVILLE AMENDMENTS
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMING CODE
2016 CALIFORNIA ELECTRICAL CODE WITH CITY OF ROSEVILLE AMENDMENTS
2016 CALIFORNIA FIRE CODE WITH CITY OF ROSEVILLE AMENDMENTS
2016 CALIFORNIA ENERGY CODE (CEC T-24)
2016 CALIFORNIA GREEN BUILDING CODE

ACCESSIBILITY: CITY OF ROSEVILLE BLDG. DIVISION ENFORCES CBC CHAPTERS 11A & 11B.

ATI ARCHITECTS + ENGINEERS
www.atiae.com
4750 Willow Rd. #250, Pleasanton, CA 94588, T 925.648.8800
3009 Douglas Blvd. #290, Roseville, CA 95661, T 916.772.1800
3050 Pullman St., Costa Mesa, CA 92626, T 714.338.1600

ITEM:	REVISIONS/ISSUE:	DATE:
	PERMINT	XX/XX/18

KEY PLAN:

PROFESSIONAL STAMP:

LICENSED ARCHITECT — G. MICHAEL GOLDSWORTHY — C 6674 — Exp.April 30,2019 — STATE OF CALIFORNIA

PROJECT TITLE:

City of Roseville Parks and Recreation Dept.
KASEBERG PARK GAZEBO
ROOFING PROJECT
1151 Rand Way
ROSEVILLE, CA

SHEET TITLE:

TITLE SHEET

DATE:	SCALE:
07/20/18	AS NOTED
DRAWN/DESIGNED BY:	CHECKED BY:
DAE /	GMG

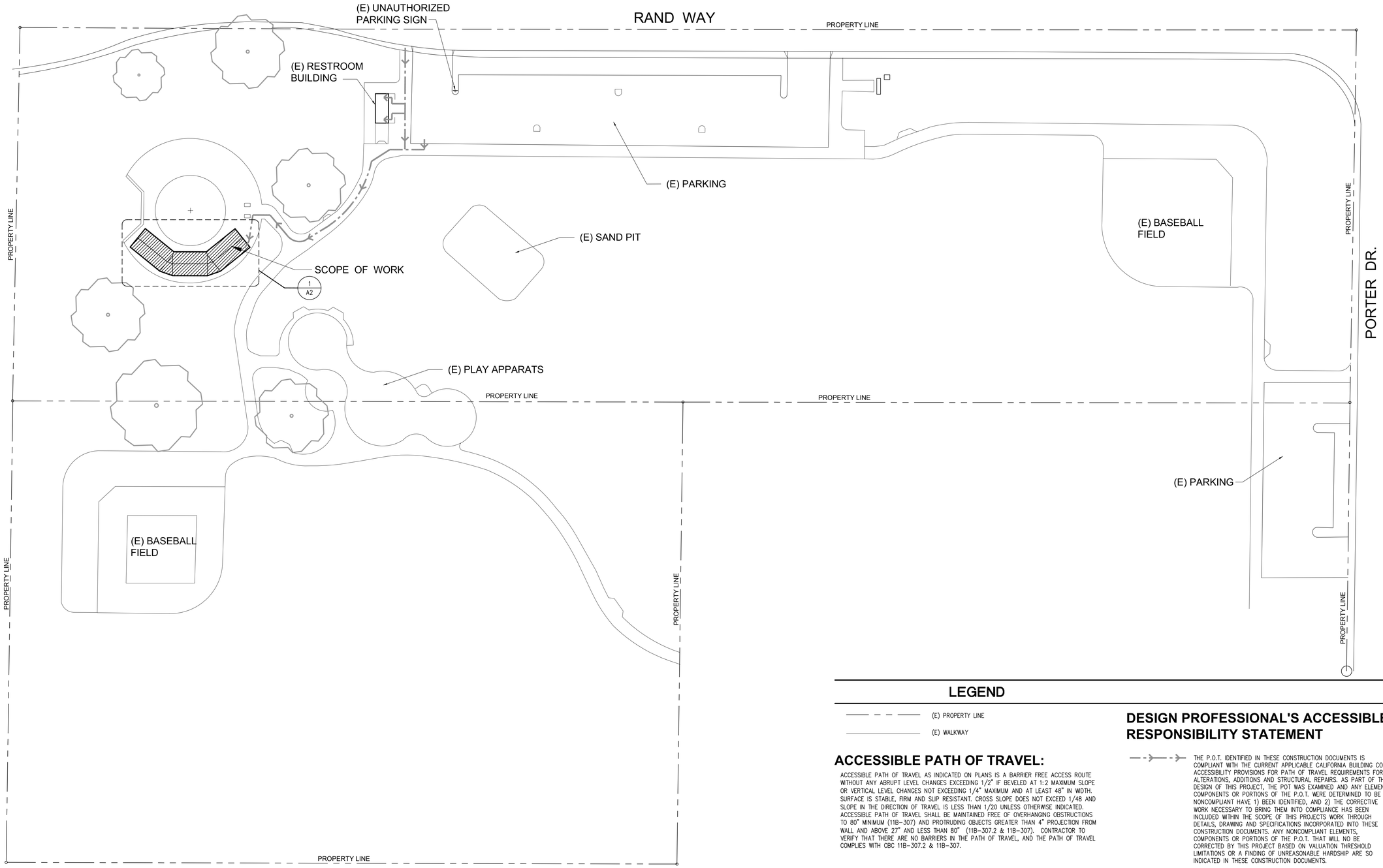
JOB NO: R7806

CAD FILE: +G1-COVR.dwg

City of Roseville Approved

SHEET NO: G1

For Council approval
Do Not use for bidding



LEGEND

(E) PROPERTY LINE

(E) WALKWAY

ACCESSIBLE PATH OF TRAVEL:

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 1/48 AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 1/20 UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.2 & 11B-307). CONTRACTOR TO VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL, AND THE PATH OF TRAVEL COMPLIES WITH CBC 11B-307.2 & 11B-307.

DESIGN PROFESSIONAL'S ACCESSIBLE RESPONSIBILITY STATEMENT

THE P.O.T. IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. WERE DETERMINED TO BE NONCOMPLIANT HAVE 1) BEEN IDENTIFIED, AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECTS WORK THROUGH DETAILS, DRAWING AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WILL NO BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

IF DURING CONSTRUCTION P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH CBC AS PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

THE SCOPE OF WORK FOR THIS APPLICATION IS UNDER THE CURRENT VALUATION THRESHOLD. THE SCOPE OF ACCESSIBILITY UPGRADES (A.C. PAVING, (E) GATES, SIGNS, & EXISTING NON-COMPLIANT ROUTES AMOUNT TO A MINIMUM OF 20% OF THE TOTAL CONSTRUCTION COST (11B-202.4, EXCEPTION #8).

NORTH

SCALE : 1"= 40'-0"

1 SITE PLAN

ATI ARCHITECTS + ENGINEERS

www.atiae.com

4750 Willow Rd. #250
Pleasanton, CA 94588
T 925.648.8800

3009 Douglas Blvd. #290
Roseville, CA 95661
T 916.772.1800

3050 Pullman St.
Costa Mesa, CA 92626
T 714.338.1600

ITEM:	REVISIONS/ISSUE:	DATE:
	PERMINT	08/17/18

KEY PLAN:

PROFESSIONAL STAMP:

LICENSED ARCHITECT — MICHAEL GOLDSMITH — C 6674 — Exp: April 30, 2019 — STATE OF CALIFORNIA

PROJECT TITLE:

City of Roseville Parks and Recreation Dept.

KASEBERG PARK GAZEBO

ROOFING PROJECT

1151 Rand Way

ROSEVILLE, CA

SHEET TITLE:

SITE PLAN

DATE:	SCALE:
08/17/18	AS NOTED
DRAWN/DESIGNED BY:	CHECKED BY:
DAE/	GMG

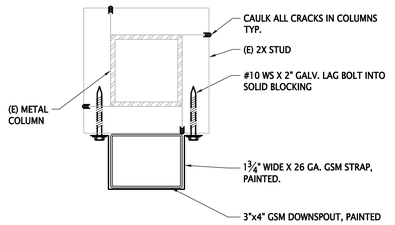
JOB NO: R7806

CAD FILE: +A1_Site.dwg

City of Roseville Approved

For Council approval
Do Not use for bidding

SHEET NO: **A1**



7 DOWNSPOUT CONNECTION AT COLUMN

SCALE: 3"=1'-0"

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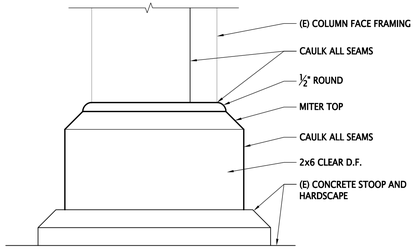
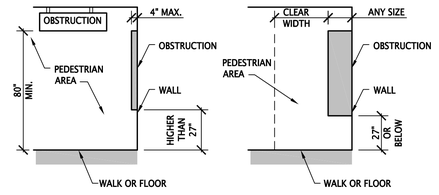


8 COLUMN BASE

SCALE: 3"=1'-0"

JOB# - DIMSCALE: 4
CLMB_BASE.DWG

NOTE: SIGNAGE MUST BE FIELD INSPECTED PER 2016 CBC 11B-703.1 INCLUDING 703.1.1, 703.1.1.1, 703.1.1.2



9 PATH OF TRAVEL CLEARANCES

SCALE: 1/4"=1'-0"

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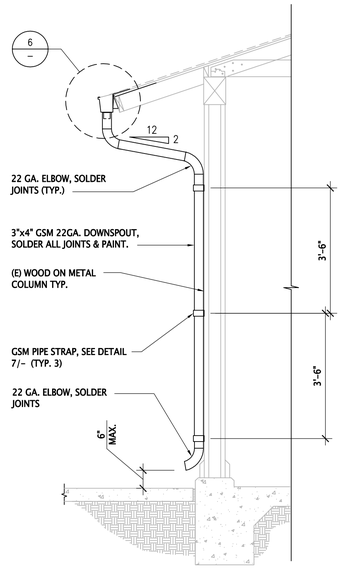
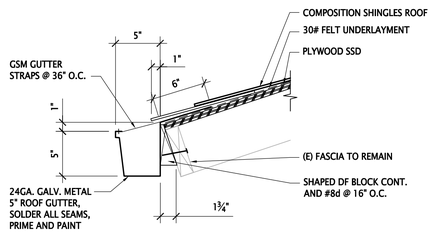


5 DOWNSPOUT AT COLUMN

SCALE: 1/2"=1'-0"

JOB# - DIMSCALE: 24
ROOF_CMP-DOWNSPOUT_CLMB.DWG



6 GUTTER

SCALE: 1 1/2"=1'-0"

JOB# - DIMSCALE: 8
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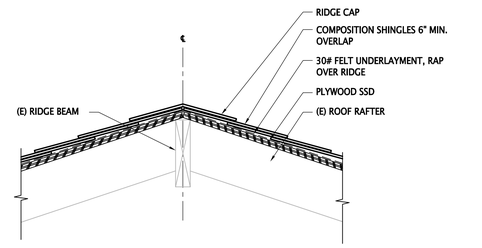
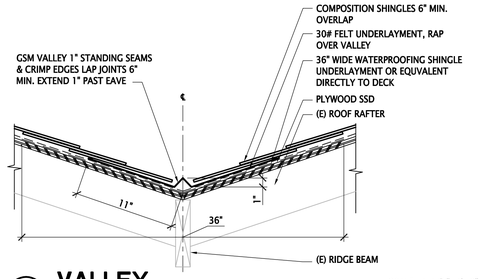


2 RIDGE / HIP

SCALE: 1 1/2"=1'-0"

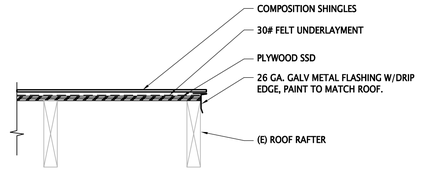
JOB# - DIMSCALE: 8
ROOF_CMP-RDGE.DWG



3 VALLEY

SCALE: 1 1/2"=1'-0"

JOB# - DIMSCALE: 8
ROOF_CMP-VLLEY.DWG



4 RAKE TRIM

SCALE: 1 1/2"=1'-0"

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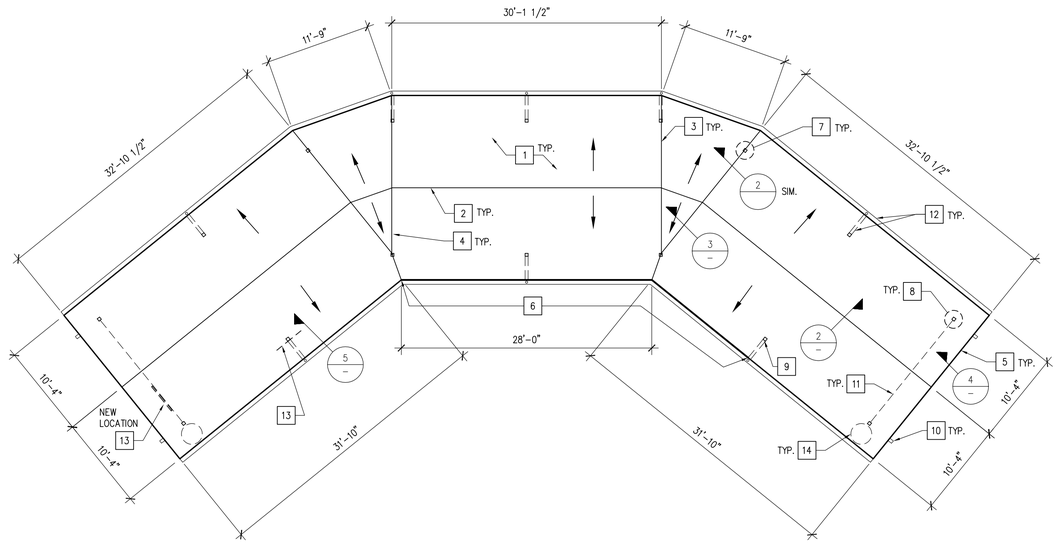

1 ROOF PLAN

SCALE : 1/8" = 1'-0"

NORTH

KEYNOTES

1. COMPOSITION SHINGLE ROOF OVER FELT UNDERLAYMENT OVER PLYWOOD.
2. TYP. RIDGE
3. TYP. HIP
4. TYP. VALLEY
5. TYP. RAKE
6. REMOVE AND REPLACE 2x6 FASCIA WHERE NOTED ON PLAN. MOUNT WITH SCREWS AND MITER ENDS TO MATCH (E) CONDITIONS.
7. REPLACE ALL (E) WOOD COLUMN BASES PER DETAIL 8/-. CAULK ALL WOOD COLUMN FACES SEE DETAIL 7/- COLUMNS SHOWN FOR REFERENCE ONLY.
8. CAULK ALL COLUMN CAPITALS
9. REPLACE ENTIRE 2x COLUMN FACE TO MATCH (E) CONDITION WHERE GOUGING AND HOLES HAVE HAPPENED. CAULK ALL COLUMN FACES.
10. SEE STRUCTURAL DRAWINGS FOR CUTTING BACK OF DRY ROOT OF WORST BEAM END. CUT BACK ALL OTHER BEAMS ENDS TO MATCH NEW LENGTH OF BEAM, MITER ALL ENDS OF BEAMS TO MATCH (E) CONDITIONS.
11. REMOVE LATCH WOOD AT ENDS OF BOTH GABLE ENDS. DO NOT REPLACE PREP AREA FOR NEW PAINT.
12. GUTTER AND DOWNSPOUT SEE DETAIL 5/-
13. REMOVE SIGN AND MOVE TO GABLE END. MOUNT SIGN TO HAVE 80" CLEAR. SEE DETAIL 9/-
14. (E) TRASH BEN TO REMAIN

GENERAL NOTES

1. DEMOLITION: REMOVE EXISTING OPEN LATTICE ROOFING. NOTIFY ARCHITECT OF ANY DAMAGED AREAS OR ROTTED AREAS. PAINT (N) FASTENERS & FLASHING WHERE EXPOSED TO MATCH (E) ADJACENT COLOR.
2. NEW ROOF SYSTEM: INSTALL PLYWOOD SHEETHING PER STRUTURAL DRAWINGS. INSTALL COMPOSITE ROOF SHINGLE SYSTEM WITH DRIP FLASHING, SEE SPECIFICATIONS. NEW ROOF SYSTEM TO SLOPE AS EXISTING.
3. PRIME AND PAINT (N) EXPOSED AND VISIBLE SHEET METAL AND PLYWOOD SHEETING AND ANY DRY ROT REPLACEMENT WOOD. FINISH PAINT ENTERER STRUCTURE.
4. DIMENSIONS ARE APPROXIMATE AND ARE SHOWN ON THE PLANS FOR RE-ROOFING ONLY, TO AID CONTRACTOR IN MATERIAL TAKE-OFFS. ACTUAL LENGTH MAY VARY. V.I.F.

ATI ARCHITECTS + ENGINEERS
www.atiae.com
4750 Willow Rd. #250
Pleasanton, CA 94588
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Costa Mesa, CA 92626
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ITEM:	REVISIONS/ISSUE:	DATE:
	PERMINT	08/17/18

KEY PLAN:

PROFESSIONAL STAMP.

STATE OF CALIFORNIA — LICENSED ARCHITECT — G. MICHAEL GOLDSWORTHY — C 6674 Exp:April 30,2019

PROJECT TITLE:

City of Roseville Parks and Recreation Dept.
KASEBERG PARK GAZEBO
ROOFING PROJECT
1151 Rand Way
ROSEVILLE, CA

SHEET TITLE:

ROOF PLAN AND DETAILS

DATE:	SCALE:
08/17/18	AS NOTED
DRAWN/DESIGNED BY:	CHECKED BY:
DAE /	GMG
JOB NO:	
R7806	
CAD FILE:	
+A2_Rof.dwg	

City of Roseville Approval

For Council approval
Do Not use for bidding

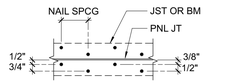
SHEET NO:

A2

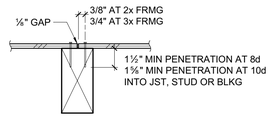
RIM JOIST TO TOP ℙ, TOE NAIL	10d @ 6"oc
TRUSSES, JOISTS OR RAFTERS AT ALL BEARING POINTS TOE NAILS EACH SIDE	(2) 10d
TRUSSES, JOISTS OR RAFTERS TO SIDE OF STUDS	
EIGHT (8) INCH JOISTS OR LESS	(3) 16d
FOR EACH ADDITIONAL 4 INCHES OF DEPTH OF JOIST	(1) 16d
BLOCKING BETWEEN JOISTS OR RAFTERS:	
TO JOIST OR RAFTERS - TOE NAILS EA SIDE, EA END	(2) 10d
TO JOIST OR RAFTER BEARINGS - TOE NAILS EA SIDE	(2) 10d
BLOCKING BETWEEN STUDS, EACH END TOE NAILS	(2) 10d OR (2) 16d
BRIDGING TO JOIST, TOE NAIL EACH END	(2) 8d
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	(2) 16d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16"oc
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	(3) 16d @ 16"oc
TOP PLATE TO STUD, END NAIL	(2) 16d
STUD TO SOLE PLATE, TOE NAIL	(4) 8d
DOUBLE STUDS AT EXTERIOR WALLS, FACE NAIL	16d @ 12"oc
DOUBLE STUDS, FACE NAIL	16d @ 24"oc
DOUBLE TOP PLATES, FACE NAIL	16d @ 12"oc
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL	(3) 16d
CONTINUOUS HEADER, TWO PIECES	16d @ 16"oc ALONG EACH EDGE
DOUBLE TOP PLATE LAP AT CORNER	(3) 16d
CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d
BUILT-UP CORNER STUDS	16d @ 12"oc
POST TO SILL/SOLE/TOP PLATE, EACH SIDE TOE NAIL	(4) 10d

1 NAILING SCHEDULE

3/4" = 1'-0"



PLAN VIEW AT CLOSE NAIL SPACING
(3"oc OR LESS SPACING AT FLOOR OR ROOF)
(4"oc OR LESS SPACING AT SHEAR WALL)



SECTION AT TYP NAIL SPACING

NOTE:
SHEATHING SHEETS ARE TO BE AS LARGE AS POSSIBLE. STAGGER SHEETS. JOINTS ARE TO BE CENTERED OVER BEARING. NAIL HEADS SHALL BE DRIVEN FLUSH W/ SHEATHING. MINIMUM SHEATHING SIZE IS 24" WIDTH x 48" LENGTH AT FLOOR AND ROOF, AND 12"x48" AT WALLS.

2 SHEATHING NAILING

1 1/2" = 1'-0"

ABBREVIATIONS

AB	ANCHOR BOLT	GB	GRADE BEAM	PTDF	PRESSURE TREATED
ABV	ABOVE	GLB	GLUE LAMINATED BEAM		DOUGLAS FIR
AC	AIR CONDITIONING	GR	GRADE	PT	POINT
ADJ	ADJACENT	HD	HOLD DOWN	R	RADIUS
ADDL	ADDITIONAL	HDG	HOT-DIP GALVANIZED	RBS	REDUCED BEAM SECTION
ALT	ALTERNATE	HDR	HEADER	RFTR	RAFTER
ALUM	ALUMINUM	HGR	HANGER	REF	REFERENCE
ARCH	ARCHITECT	HK	HOOK	REINF	REINFORCING
@	AT	HORIZ	HORIZONTAL	REQD	REQUIRED
BLDG	BUILDING	HS	HIGH STRENGTH	RET	RETAINING
BLK/BLKG	BLOCK/BLOCKING	HSB	HIGH STRENGTH BOLT	REV	REVISION
BLW	BELOW	HSFB	HIGH STRENGTH	RF	ROOF
BM	BEAM		FRICTION BOLT	RWD	REDWOOD
BN	BOUNDARY NAIL	HSG	HIGH STRENGTH GROUT	S	AMERICAN STANDARD BEAM
BOT	BOTTOM	HSH	HORIZONTAL SLOTTED	SAD	SEE ARCHITECTURAL
BRG	BEARING		HOLE		DRAWINGS
BTWN	BETWEEN	HSS	HOLLOW STRUCTURAL	SB	SOLID BLOCK
BU	BUILT-UP		SECTION	SC	SLIP CRITICAL
BYND	BEYOND	HT	HEIGHT	SCBF	SPECIAL CONCENTRIC
C	AMERICAN STANDARD	ID	INSIDE DIAMETER		BRACED FRAME
	CHANNEL	IJ	I SHAPED WOOD BUILT	SCD	SEE CIVIL DRAWINGS
CANT	CANTILEVER		UP TRUSS	SCHED	SCHEDULE
CB	CARRIAGE BOLT	INT	INTERIOR	SED	SEE ELECTRICAL DRAWINGS
CIP	CAST IN PLACE	JST	JOIST	SEOR	STRUCTURAL ENGINEER OF
CGL	CERTIFIED GLUED LUMBER	JT	JOINT		RECORD
CJ	CONTROL JOINT	KP	KING POST	SFRS	SEISMIC FORCE RESISTING
℄	CENTERLINE	L	STEEL ANGLE		SYSTEM
CJP	COMPLETE JOINT	Lb or #	POUND(s)	SHTG	SHEATHING
	PENETRATION	LGMF	LIGHT GAGE METAL	SIM	SIMILAR
CLG	CEILING		FRAMING	SKYLT	SKYLIGHT
CLR	CLEAR	LGMFC	LIGHT GAGE METAL	SMF	SPECIAL MOMENT FRAME
COL	COLUMN		FRAMING CONTRACTOR	SMS	SHEET METAL SCREW
COLL	COLLECTOR	LL	LIVE LOAD	SMD	SEE MECHANICAL DRAWINGS
CONC	CONCRETE	LLH	LONG LEG HORIZONTAL	SOG	SLAB ON GRADE
CONN	CONNECTION	LLV	LONG LEG VERTICAL	SPCG	SPACING
CONT	CONTINUOUS	LOC	LOCATION	SPD	SEE PLUMBING DRAWINGS
COORD	COORDINATE/	LS	LAG SCREW	SPEC	SPECIFICATION
	COORDINATION	LSL	LAMINATED STRAND LUMBER	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	LVL	LAMINATED VENEER LUMBER	SS	SELECT STRUCTURAL
CSK	COUNTERSINK	MAX	MAXIMUM		or STAINLESS STEEL
CW	CUT WASHER	MB	MACHINE BOLT	STGR	STAGGERED
DBL	DOUBLE	MBM	METAL BUILDING	STD	STANDARD
DCW	DEMAND CRITICAL WELD		MANUFACTURER	STIFF	STIFFENER
DF	DOUGLAS FIR	MC	MISCELLANEOUS CHANNEL	STL	STEEL
DIA or ⌀	DIAMETER	MECH	MECHANICAL	STRUCT	STRUCTURAL
DIAG	DIAGONAL	MEZZ	MEZZANINE	SW	SHEAR WALL
DIM	DIMENSION	MF	MOMENT FRAME	SYM	SYMMETRICAL
DJ	DOWEL JOINT	MFR	MANUFACTURER	T&B	TOP AND BOTTOM
DL	DEAD LOAD	MIN	MINIMUM	T&G	TONGUE AND GROOVE
DN	DOWN	MISC	MISCELLANEOUS	THK	THICK
DO	DITTO	MIW	MALLEABLE IRON WASHER	THRD	THREADED
DWG	DRAWING	MTL	METAL	THRU	THROUGH
DWL	DOWEL	(N)	NEW	TL	TOTAL LOAD
EA	EACH	NIC	NOT IN CONTRACT	TN	TOE NAIL
EE	EACH END	NO or #	NUMBER	TOC	TOP OF CONCRETE
EF	EACH FACE	NS	NEAR SIDE	TOF	TOP OF FRAMING
ELEC	ELECTRICAL	NSG	NON-SHRINK GROUT	TOM	TOP OF MASONRY
ELEV	ELEVATOR/ELEVATION	NTS	NOT TO SCALE	TOP	TOP OF PLYWOOD
EMBED	EMBEDMENT	O/	OVER	TOS	TOP OF STEEL
EQ	EQUAL	oc	ON CENTER	TOT	TOTAL
EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER	TU	TILT UP
ES	EACH SIDE	OH	OPPOSITE HAND	TYP	TYPICAL
EW	EACH WAY	OPNG	OPENING	UNO	UNLESS NOTED OTHERWISE
EXIST or (E)	EXISTING	OPP	OPPOSITE	VERT	VERTICAL
EXP	EXPANSION	OW	OTHERWISE	VIF	VERIFY IN FIELD
EXT	EXTERIOR	OWT	OPEN WEB TRUSS	VSH	VERTICAL SLOTTED HOLE
FDN	FOUNDATION	ℙ	PLATE or PROPERTY LINE	W	WIDE FLANGE STEEL BEAM
FIN	FINISH	PA	POST ABOVE	W/	WITH
FG	FINISH GRADE	PDP	POWDER DRIVEN PINS	W/O	WITHOUT
FLI	FERRULE LOOP INSERT	PEN	PANEL EDGE NAIL	WD	WOOD
FLR	FLOOR	PERP	PERPENDICULAR	WHS	WELDED HEADED STUD
FN	FACE NAIL	PES	PANEL EDGE SCREWS	WLD	WELDED
FOC	FACE OF CONCRETE	PJP	PARTIAL JOINT PENETRATION	WP	WORK POINT/WATERPROOF
FOM	FACE OF MASONRY	PLF	POUNDS PER LINEAR FOOT	WS	WOOD SCREW
FOS	FACE OF STUD	PNL	PANEL	WT	WEIGHT
FRMG	FRAMING	PSF	POUNDS PER SQUARE FOOT	WTS	WELDED THREADED STUD
FS	FAR SIDE	PSI	POUNDS PER SQUARE INCH	WWR	WELDED WIRE
FTG	FOOTING	PSL	PARALLEL STRAND LUMBER		REINFORCEMENT
GA	GAGE or GAUGE	PTB	PANEL TIE BAR		
GALV	GALVANIZED				

F STRUCTURAL SPECIFICATIONS

WOOD CONSTRUCTION (CARPENTRY)

1. EACH PIECE OF LUMBER SHALL BEAR THE STAMP OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) OR WESTERN WOOD PRODUCTS ASSOCIATION (WWPA) SHOWING GRADE MARK OR APPROVED EQUAL. BEAMS AND POSTS TO BE FREE OF HEART CENTER (FOHC). OTHER MATERIALS SHALL BE AS SHOWN BELOW:

SAWN LUMBER MEMBER	SPECIES AND MINIMUM GRADE, UNO	F_b (PSI)	F_v (PSI)	E (PSI)
6x POSTS	DOUGLAS FIR - #1	1200	170	$1.6x10^6$
6x BEAMS	DOUGLAS FIR - #1	1350	170	$1.6x10^6$
4x POSTS & BEAMS	DOUGLAS FIR - #1	1000	180	$1.7x10^6$
2x JOISTS, RAFTERS	DOUGLAS FIR - #2	900	180	$1.6x10^6$
ℙ MATERIAL	DOUGLAS FIR - #2	900	180	$1.6x10^6$
2x STUDS > 10' HEIGHT	DOUGLAS FIR - #2	900	180	$1.6x10^6$

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE MAXIMUM MOISTURE CONTENT OF WOOD AT THE TIME OF INSTALLATION SHALL BE NOT MORE THAN 19%.

3. NAILS TO BE OF COMMON WIRE AND OF FULL-ROUND HEADS WHERE NAILING IS SPECIFIED ON THE DRAWINGS. MACHINE-DRIVEN NAILS MEETING SIZE REQUIREMENTS ARE ACCEPTABLE. NAILS MUST NOT BE OVER-DRIVEN. PRE-DRILL NAIL HOLES WHERE WOOD TENDS TO SPLIT. NAILS AS SPECIFIED ON PLANS AND INCLUDING IN PTDF MATERIAL CONTAINING AMMONIA IN EXTERIOR APPLICATIONS SHALL BE TYPE 304 OR 316 STAINLESS STEEL. NAILS USED IN EXTERIOR APPLICATIONS OR IN INTERIOR PTDF SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153.

WIRE NAIL	MINIMUM SHANK DIAMETER	MINIMUM NAIL LENGTH UNO	TYPICAL NAIL APPLICATION, UNO
16d COMMON	0.162"	3½"	FRAMING
16d SINKER	0.148"	3¼"	FRAMING
10d COMMON	0.148"	3"	FRAMING
10d COMMON	0.148"	PER **2/S1**	SHEATHING
8d COMMON	0.131"	PER **2/S1**	SHEATHING

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE METAL FRAMING CLIPS, HANGERS, ETC. ARE BY SIMPSON STRONG-TIE. NAILING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WITH A NAIL PROVIDED FOR EACH PUNCHED HOLE UNO. CONNECTORS AS SPECIFIED ON PLANS AND THOSE IN CONTACT WITH PTDF MATERIAL CONTAINING AMMONIA IN EXTERIOR APPLICATIONS SHALL BE TYPE 304 OR 316 STAINLESS STEEL. ALL OTHER CONNECTORS USED IN EXTERIOR APPLICATIONS OR INTERIOR PTDF SHALL BE HDG (MINIMUM 2.0 oz/SQ FT) OR ZMAX (MINIMUM 1.85 oz/SQ FT PER ASTM A653). IN APPLICATIONS WHERE NON-AMMONIA TREATED WOOD IS DRY WHEN INSTALLED AND WILL REMAIN DRY IN-SERVICE A COATING THICKNESS OF 0.9 oz/SQ FT MAY BE USED.

5. WOOD SCREWS SHALL CONFORM TO ANSI/ASME B18.6.1. PROVIDE PILOT HOLE 70% OF DIAMETER OF SCREW SHANK WHERE FASTENING HARDWOOD TIMBER SPECIES OR WHERE WOOD TENDS TO SPLIT. MINIMUM PENETRATION IS (10) DIAMETERS, UNO.

6. WOOD AGAINST CMU OR CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR (PTDF) PER AWPA STANDARD U1. "USE CATEGORY" UC2 AT INTERIOR. "USE CATEGORY" UC3B AT EXTERIOR (NO GROUND CONTACT). CUT FACES SHALL BE BRUSH TREATED WITH EQUIVALENT PRESERVATIVE PRIOR TO INSTALLATION.

7. DECKING MATERIAL AND FRAMING EXPOSED TO WEATHER TO BE PTDF AWPA "USE CATEGORY" UC3B OR REDWOOD, SAD.

8. WOOD ADHESIVE SHALL BE WATER-PROOF, CARTRIDGE DISPENSED, MEETING APA PRODUCT SPECIFICATION AFG-01 OR ASTM D3498. LOCTITE "PL PREMIUM" OR EQUAL. FOR USE AT SUBFLOOR SHEATHING AND WHERE SPECIFICALLY NOTED FOR USE ON DRAWINGS.

PLYWOOD/ORIENTED STRAND BOARD (OSB) SHEATHING

1. STRUCTURAL SHEATHING SHALL CONFORM TO PRODUCT STANDARD PS-1 OR PS-2. ALL PANELS SHALL HAVE AN EXTERIOR EXPOSURE RATING AND BEAR THE TRADEMARK OF THE ENGINEERED WOOD ASSOCIATION (APA) OR OTHER QUALIFIED AGENCY. SHEATHING SHEETS SHALL BE SPLICED ALONG CENTERLINE OF FRAMING MEMBER WITH NAILING SPACED NOT LESS THAN ⅜" FROM EDGE OF SHEETS. MACHINE-PLACED NAILING AND NAILS TO BE APPROVED BY THE ENGINEER PRIOR TO USE. SHEATHING NAILS OF COMMON WIRE WITH FULL ROUND HEADS ARE REQUIRED.

2. OSB WITH EQUIVALENT THICKNESS AND SPAN RATING MAY BE USED IN LIEU OF PLYWOOD CALLED OUT. ALL OSB SHALL CONFORM TO PS-2.

A DESIGN CRITERIA

DESIGN CRITERIA:
ROOF LIVE LOAD: 20 PSF (REDUCIBLE)
RISK CATEGORY: II
WIND DATA: ULTIMATE WIND SPEED (3 SEC GUST) IN MPH: 110
WIND EXPOSURE: C
INTERNAL WIND PRESSURE COEFFICIENT (GCPI) = ±0.18
COMPONENTS AND CLADDING DESIGN PRESSURES FOR SYSTEMS DESIGNED BY OTHERS SHALL COMPLY WITH THE "ASCE 7" DESIGN STANDARD
EARTHQUAKE DATA: SEISMIC IMPORTANCE FACTOR, I_e: 1.0
MAPPED SPECTRAL RESPONSE ACCELERATIONS: S_s = 0.51; S_1 = 0.25
SITE CLASS: D
SPECTRAL RESPONSE COEFFICIENTS: S_{DS} = 0.475; S_{D1} = 0.319
SEISMIC DESIGN CATEGORY: D
SEISMIC FORCE RESISTING SYSTEM(S): CANTILEVERED COLUMN SYSTEM
RESPONSE MODIFICATION FACTOR(S): R = 1.25
DESIGN BASE SHEAR: 8.6k
SEISMIC RESPONSE COEFFICIENT(S), C_s = 0.38
ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

B GENERAL NOTES

1. REFER TO SHEETS **S1** FOR STANDARD DETAILS OF CONSTRUCTION. REFER TO THE PROJECT SPECIFICATIONS FOR MATERIALS AND METHODS.
2. BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY AND SHOULD BE VERIFIED IN FEILD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO CLARIFICATION CAN BE MADE PRIOR TO COMMENCING WORK.
3. STRUCTURAL DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS AND FIT SHALL BE DETERMINED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK.
4. DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS.
5. SHORING AND BRACING DESIGN, MATERIALS AND INSTALLATION SHALL BE PROVIDED BY THE GENERAL CONTRACTOR, AND SHALL BE ADEQUATE FOR ALL LOADS. LEAVE IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY AND UNTIL FINAL STRUCTURAL CONSTRUCTION IS COMPLETED.

C EXISTING CONSTRUCTION NOTES

1. IN PREPARING THE PROJECT PLANS, THE SOURCE OF INFORMATION WAS BASED ON THE EXISTING BUILDING PLANS PREPARED BY ROYSTON HANAMOTO ALLEY & ABEY, DATED JANUARY 1990. THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS, REVIEW THE PLANS AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ALL DISCREPANCIES AND EXCEPTIONS BEFORE PROCEEDING WITH ANY WORK. DRAWINGS FOR THE EXISTING CONSTRUCTION ARE AVAILABLE FOR REVIEW.
2. ALL WORK NOT INDICATED AS EXISTING (E) SHALL BE ASSUMED TO BE NEW (N).
3. ANY REMOVAL, CUTTING, DRILLING, ETC OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE. SMALL TOOLS SHALL BE USED IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. IF STRUCTURAL MEMBERS OR MECHANICAL, ELECTRICAL, OR ARCHITECTURAL ELEMENTS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE ARCHITECT/ENGINEER SHALL BE IMMEDIATELY NOTIFIED AND PRIOR APPROVAL SHALL BE OBTAINED BEFORE REMOVAL OF THE MEMBERS.
4. DO NOT OVER CUT EXISTING WOOD TO REMAIN. CUTS SHALL BE MADE NEATLY TO A CORNER, THEN ALTERNATE MEANS SHALL BE USED TO REMOVE REMAINING MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF OVER CUT MATERIAL AS DIRECTED BY THE ARCHITECT AND/OR ENGINEER.
5. EXISTING DAMAGED STRUCTURAL MEMBERS WHICH ARE UNCOVERED SHALL BE REPORTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND REPAIR.
6. REMODELING REQUIRES ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS WHICH MAY NOT BE VERIFIABLE WITHOUT DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE STRUCTURE. THIS ANALYSIS DOES NOT MAKE ANY GUARANTEE TO THE ADEQUACY OF THE STRUCTURAL DESIGN OF THE EXISTING BUILDING'S NOT SPECIFICALLY ADDRESSED IN THE STRUCTURAL CALCULATIONS. ZFA SHALL NOT BE RESPONSIBLE FOR UNSATISFACTORY PERFORMANCE OF EXISTING PORTIONS OF THE STRUCTURE NOT SPECIFICALLY ADDRESSED IN THE CONSTRUCTION DOCUMENTS.

D WOOD FRAMING NOTES

1. SEE **2/S1** FOR SHEATHING NAILING REQUIREMENTS. ALL NAILING NOT NOTED OR DETAILED OTHERWISE SHALL BE PER **1/S1** . NAIL LENGTH TO BE SUFFICIENT TO MEET CBC PENETRATION REQUIREMENTS.
2. FOR ROOF DRAINAGE, TOP OF FRAMING BETWEEN NOTED POINTS IS A STRAIGHT LINE.
3. THE CONTRACTOR SHALL VERIFY THAT THE MOISTURE CONTENT OF ALL FRAMING LUMBER AND SHEATHING MEET THE REQUIREMENTS OF THE SPECIFICATIONS AT THE TIME OF INSTALLATION AND AT CLOSE-IN.
4. ALL SHEATHING SHALL HAVE 1/8" GAP AT ALL EDGES AND JOINTS. TYPICAL SHEATHING:
   A. SLOPING ROOF SHEATHING (SLOPE GREATER THAN 2:12): ⁷⁄₁₆" APA RATED SHEATHING (32/16) EXP 1 WITH 10d @ 6"oc EDGES (FEN) AND 12"oc FIELD UNO ON PLANS. LAY PERPENDICULAR TO FRAMING MEMBERS. PROVIDE SHTG CLIPS AT UNSUPPORTED EDGES UNLESS NOTED TO BE BLOCKED ON PLANS. NO PANELS LESS THAN 24" WIDE SHALL BE USED. STAGGER SHEETS.

E DRY ROT NOTES

1. ALL SOFT AND DISCOLORED MATERIAL SHALL BE REMOVED UNTIL EXPOSED WOOD IS NATURAL COLORED. ONCE THE NATURAL COLOR IS EXPOSED IT SHOULD BE TREATED WITH AWPA USE CATEGORY UCB3 WOOD PRESERVATIVE.
2. WHERE MORE THAN 5% OF THE CROSS-SECTIONAL AREA IS REMOVED FROM ANY MEMBER, REPLACE MEMBER IN LIKE KIND.
3. CONTACT SEOR FOR FIELD OBSERVATION AND GUIDANCE TO SALVAGE SEVERE ROT CONDITIONS. OTHERWISE REPLACE IN LIKE KIND.

Revision Schedule

#	Revision Description	Date

ZFA STRUCTURAL ENGINEERS
7801 folsom boulevard | suite 204
sacramento ca 95826
zfa job no. 18186.01
zfa.com
916.924.7024

MARK A. MOORE
REGISTERED PROFESSIONAL ENGINEER
STRUCTURAL
No. 4443
STATE OF CALIFORNIA

PROJECT

KASEBURG GAZEBO RETROFIT
KASEBURG PARK
1151 RAND WAY
ROSEVILLE, CA 95678

SHEET DESCRIPTION

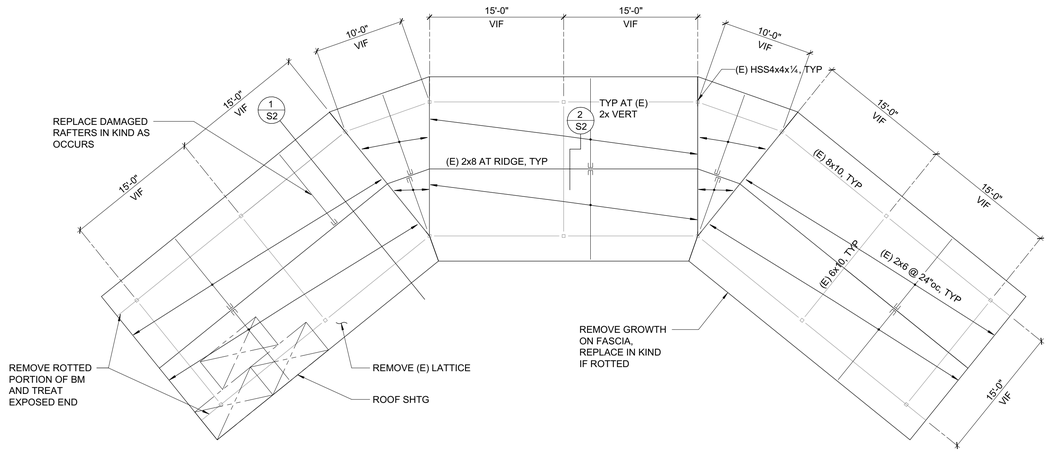
GENERAL NOTES AND TYPICAL DETAILS

ENGR: RR
DATE: 6/26/2018
PM: MCK

SHEET

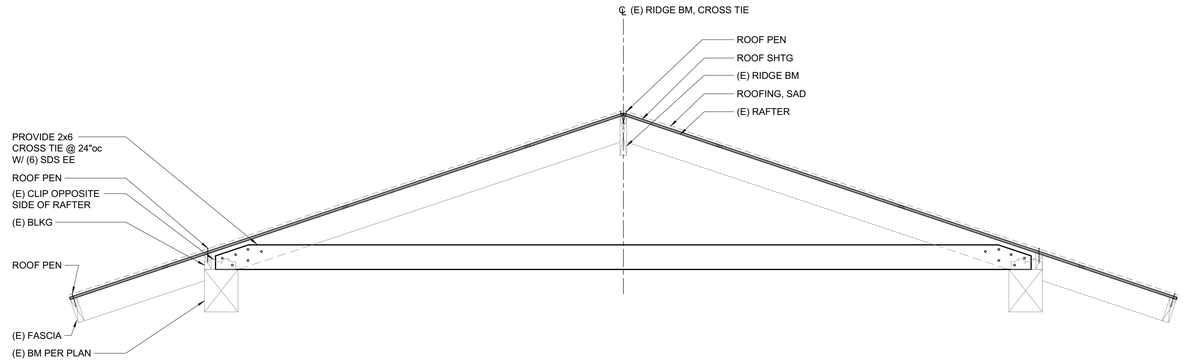
S1

Permit Set
For Council approval
Do Not use for bidding



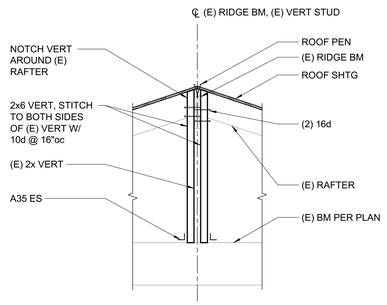
ROOF FRAMING PLAN

1/8" = 1'-0"



1 CROSS TIE AT ROOF FRAMING

3/4" = 1'-0"



2 VERTICAL SUPPORT AT RIDGE

3/4" = 1'-0"

FRAMING PLAN NOTES:

1. REFER TO SHEET **S1** FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
2. ELEVATIONS ON PLANS AND DETAILS "**+**" ARE TO HEIGHTS ABOVE FINISHED GROUND FLOOR ELEVATION REFERENCE 0'-0". COORDINATE TOP OF FRAMING AND LEDGER HEIGHTS AS REQUIRED TO PROVIDE ROOF SLOPES AS SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

PLAN LEGEND

SYMBOL	REFERENCE DETAIL	DESCRIPTION
□		INDICATES STEEL COLUMN.
⟵	D/S1	INDICATES HANGER.
		INDICATES EXISTING FRAMING.

Revision Schedule

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KASEBURG GAZEBO RETROFIT
KASEBURG PARK
1151 RAND WAY
ROSEVILLE, CA 95678

SHEET DESCRIPTION

ROOF FRAMING PLAN AND DETAILS

ENGR: RR	DATE: 6/26/2018
PM: MCK	

SHEET

S2

Permit Set

For Council approval
Do Not use for bidding

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